



# Plantation Acres Improvement District Broward County Florida

1701 NW 112<sup>th</sup> Avenue, Plantation, FL 33323

## AGENDA March 24, 2022

Call to Order 7:00 P.M.

Pledge of Allegiance

Invocation

Roll Call

Approval of Attendance of Commissioners by Social Media or Telephone

Approval of Minutes

Public Comment

Staff Reports

I. Administrator's Report

II. Attorney's Report

III. Engineer's Report

A. CONSENT ITEMS

None

B. QUASI-JUDICIAL ITEMS

The items in this section are quasi-judicial in nature. If you wish to object or comment upon any of these items, you must be sworn before addressing the Board of Commissioners, and if you wish to address the Board, you may be subject to cross-examination. If you refuse to submit to cross-examination, the Board of Commissioners will not consider what you have said in its final deliberations.

B1. Flamingo Plaza Site Improvements (C2111.01) . . . . . Approval

C. BOARD ACTION ITEMS

None

D. DISCUSSION ITEMS

D1. Pump Station Number 3 Rehabilitation (D1707.01-3) . . . . . Update

D2. 20-Year Needs Analysis (D2109.01) . . . . . Update

D3. Swale Obstruction Evaluation (D2201.01) . . . . . Discussion

D4. Funding for Improvements (D2201.01). . . . . Discussion

D5. Permit Activity (D9408.02 & D9408.03) . . . . . Summary

D6. Violation Activity (D9611.01). . . . . Summary

IV. District Manager's Agenda

Old Business

New Business

Adjournment

Notice is hereby given to all interested parties that if any person should decide to appeal any decision made at the forthcoming meeting of the Board of Commissioners, such person will need a record of the proceedings conducted at such meeting, and for such purpose he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which any appeal may be based.

**ENGINEER'S STAFF REPORT**  
FOR March 24, 2022 MEETING  
**AGENDA ITEM No.: B1**

**Action Required:** Board Approval (Quasi-Judicial)

**Item Description:** Flamingo Plaza  
Site Improvements Plan

**P.A.I.D. Number:** C2111.01

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**Attachments:** Construction Plan (11" x 17" reduced copy)  
Permit Application

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**Summary:** This item is for the approval of the improvement plans serving the existing plaza on the southeast corner of Flamingo Road and W. Sunrise Boulevard. The plan involves minor site improvements such as demolition of existing asphalt, landscaping, concrete sidewalk and curbing and reconstruction of asphalt parking spaces, landscaping, concrete sidewalk and curbing in preparation for a new grocery tenant within the project boundary area.

Pervious area slightly increases as minor landscaping is improved; whereas the overall impervious area slightly decreases.

The paving, grading and drainage plan meets the criteria of the District.

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**Recommendation:** APPROVE

**Comments:** \_\_\_\_\_

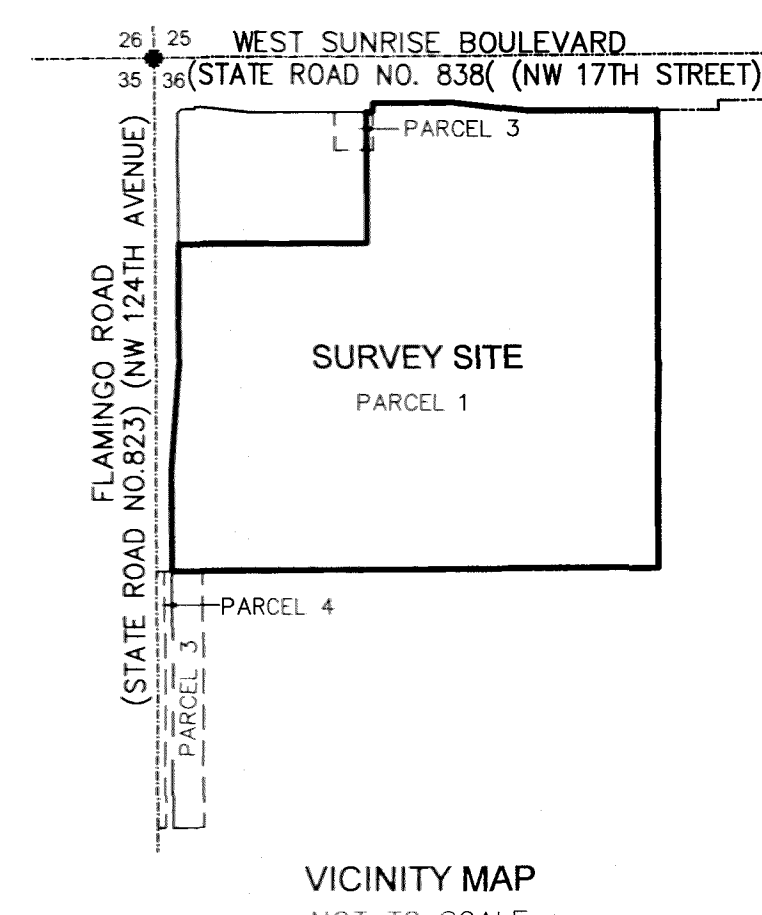
Prepared by: BMP Date: 3/14/2022





FOLIO #94036020290  
 R/W PER O.R.B. 3760, PAGE 331

- LEGEND**
- CONCRETE
  - ASPHALT PAVEMENT
  - BRICK PAVERS
  - AMERICAN DISABILITY ACT RAMP (ADA) ELEVATION
  - NON-VEHICULAR ACCESS LINE (NVAL)
  - OVERHEAD WIRES
  - UNDERGROUND STORM SEWER LINE
  - UNDERGROUND SANITARY SEWER LINE
  - CENTERLINE
  - FPL FLORIDA POWER & LIGHT COMPANY
  - LB LICENSED BUSINESS
  - O.R.B. OFFICIAL RECORDS BOOK
  - R/W RIGHT-OF-WAY
  - TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
  - STATE PLANE COORDINATES
  - ① COMMITMENT EXCEPTION IDENTIFIER



- NOTES:**
- THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
  - THIS SITE CONTAINS 334,333 SQUARE FEET (7.6752 ACRES) MORE OR LESS.
  - ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK #3254; ELEVATION: 8.70 FEET AND #3255; ELEVATION 8.75 FEET.
  - FLOOD ZONE: AH; BASE FLOOD ELEVATION: 6 FEET; PANEL #12011C0340H AND #12011C0345H; COMMUNITY #120054; MAP DATE: 8/18/14.
  - THIS SITE LIES IN SECTION 36, TOWNSHIP 49 SOUTH, RANGE 40 EAST, BROWARD COUNTY, FLORIDA.
  - BEARINGS ARE BASED ON STATE PLANE COORDINATES AND ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 1990 ADJUSTMENT, FL-E ZONE, WITH THE SOUTH LINE OF TRACT A BEING S89°34'35"W.
  - REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
  - THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
  - THIS SITE CONTAINS 269 TOTAL CLEARLY IDENTIFIABLE PARKING SPACES (260 REGULAR & 9 DISABLED).
  - THIS SURVEY WAS PREPARED WITH BENEFIT OF COMMITMENT FOR TITLE INSURANCE, COMMITMENT NO. 1039803, PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, DATED MARCH 23, 2021 AT 11:00 PM. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SCHEDULE B-II OF SAID COMMITMENT:
    - ITEM 1: 2, 3 & 4: STANDARD EXCEPTIONS, NOT ADDRESSED.
    - ITEM 5: ALL MATTERS IN PLAT BOOK 91, PAGE 22 LYING ADJACENT TO THIS SITE ARE DEPICTED HEREON.
    - ITEM 6: ALL MATTERS IN PLAT BOOK 147, PAGE 21 APPLY TO THIS SITE AS DEPICTED HEREON.
    - ITEM 7: ALL MATTERS IN PLAT BOOK 154, PAGE 47 LYING ADJACENT TO THIS SITE ARE DEPICTED HEREON.
    - ITEM 8: RESOLUTION IN O.R.B. 881, PAGE 194 DOES NOT APPLY TO THIS SITE.
    - ITEM 9: FPL EASEMENT IN O.R.B. 6704, PAGE 969 BEING ADJACENT TO THIS SITE IS DEPICTED HEREON.
    - ITEM 10: PLANTATION ACRES IMPROVEMENT DISTRICT EASEMENT IN O.R.B. 16374, PAGE 341 APPLIES TO THIS SITE AS DEPICTED HEREON.
    - ITEM 11: EASEMENT IN O.R.B. 17320, PAGE 965 APPLIES TO THIS SITE AS DEPICTED HEREON.
    - ITEM 12: RESOLUTION IN O.R.B. 17380, PAGE 890 APPLIES TO THIS SITE BUT IS NOT DEPICTED.
    - ITEM 13: RESOLUTION IN O.R.B. 18056, PAGE 10 APPLIES TO THIS SITE BUT IS NOT DEPICTED.
    - ITEM 14: TERMS AND CONDITIONS OF EASEMENT AGREEMENT IN O.R.B. 18148, PAGE 837 AS AMENDED IN O.R.B. 27670, PAGE 813 APPLIES TO PARCEL 2 OF THIS SITE AS DEPICTED HEREON.
    - ITEM 15: EASEMENT AND RESTRICTIVE USE AGREEMENT IN O.R.B. 18428, PAGE 632, AS AMENDED IN O.R.B. 25188, PAGE 972; TOGETHER WITH PERPETUAL, UNRESTRICTED UTILITY EASEMENT IN O.R.B. 21977, PAGE 283 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
    - ITEM 16: NOTICE OF MUNICIPAL SPECIAL ASSESSMENT IN O.R.B. 17071, PAGE 892 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
    - ITEM 17: NOTICE OF 1992 PLANTATION MUNICIPAL SPECIAL ASSESSMENT LIEN IN O.R.B. 19527, PAGE 494 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
    - ITEM 18: PERPETUAL, UNRESTRICTED UTILITY EASEMENT, EASEMENT FOR GOVERNMENTAL SERVICES AND AMENDMENT TO EASEMENT AND RESTRICTIVE USE AGREEMENT TO ASSURE TEMPORARY UNIFIED CONTROL IN O.R.B. 21877, PAGE 283 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
    - ITEM 19: FPL EASEMENT IN O.R.B. 22485, PAGE 997 DOES NOT APPLY TO THIS SITE AS DEPICTED HEREON.
    - ITEM 20: RESOLUTION IN O.R.B. 22648, PAGE 524 DOES NOT APPLY TO THIS SITE.
    - ITEM 21: CITY OF PLANTATION UTILITY EASEMENT IN O.R.B. 22739, PAGE 108 APPLIES TO THIS SITE AS DEPICTED HEREON.
    - ITEM 22: RESTRICTION IN SPECIAL WARRANTY DEED IN O.R.B. 23079, PAGE 800 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
    - ITEM 23: DRAINAGE EASEMENT IN O.R.B. 23080, PAGE 152 APPLIES TO THIS SITE AS DEPICTED HEREON, NORTHERLY PORTION OF EAST BUILDING ENCRoACHING ON EASEMENT.
    - ITEM 24: RESOLUTION TO VACATE RIGHT-OF-WAY IN O.R.B. 23636, PAGE 728 LIES ADJACENT TO THIS SITE AS DEPICTED HEREON.
    - ITEM 25: PLANTATION ACRES IMPROVEMENT DISTRICT DRAINAGE EASEMENT IN O.R.B. 23927, PAGE 793 APPLIES TO THIS SITE AS DEPICTED HEREON, SOUTHWEST CORNER OF EAST BUILDING ENCRoACHES ON EASEMENT.
    - ITEM 26: TERMS AND CONDITIONS OF EASEMENT IN O.R.B. 24409, PAGE 641 TOGETHER WITH ADDENDUM TO EASEMENT IN O.R.B. 26517, PAGE 493 APPLIES TO PARCEL 3 OF THIS SITE AS DEPICTED HEREON.
    - ITEM 27: DECLARATION OF RESTRICTION IN O.R.B. 25188, PAGE 967 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
    - ITEM 28: DECLARATION AND AMENDED AND RESTATED PERPETUAL, UNRESTRICTED UTILITY EASEMENT AND EASEMENT FOR GOVERNMENTAL SERVICES IN O.R.B. 25923, PAGE 880, AS AFFECTED BY WAIVER OF RESTAURANT RESTRICTION IN O.R.B. 29435, PAGE 754 APPLIES TO THIS SITE. EASEMENTS ARE BLANKET IN NATURE AND CANNOT BE PLOTTED.
    - ITEM 29: MEMORANDUM OF LEASE IN O.R.B. 25923, PAGE 874, AS CORRECTED IN O.R.B. 26598, PAGE 804 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
    - ITEM 30: CITY OF PLANTATION UTILITY EASEMENT IN O.R.B. 26367, PAGE 71 APPLIES TO THIS SITE AS DEPICTED HEREON.
    - ITEM 31: PLANTATION ACRES IMPROVEMENT DISTRICT DRAINAGE EASEMENT IN O.R.B. 26399, PAGE 537 APPLIES TO THIS SITE AS DEPICTED HEREON.
    - ITEM 32: DECLARATION OF RESTRICTIVE COVENANTS IN O.R.B. 26517, PAGE 472 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
    - ITEM 33: DECLARATION OF RESTRICTIVE COVENANTS IN O.R.B. 26517, PAGE 454 APPLIES TO THIS SITE. BERM AND BRIDLE TRAIL LYING WITHIN PARCEL 3 OF THIS SITE IS DEPICTED HEREON.
    - ITEM 34: TERMS AND CONDITIONS OF EASEMENT AGREEMENT IN O.R.B. 26517, PAGE 504 APPLIES TO PARCEL 4 OF THIS SITE, LYING WITHIN FLAMINGO ROAD RIGHT-OF-WAY AS DEPICTED HEREON.
    - ITEM 35: UNRECORDED LEASE AS EVIDENCE BY SUBORDINATION, NON-DISTURBANCE AND ATTORNMEN AGREEMENT IN O.R.B. 38494, PAGE 585 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
    - ITEM 36: UNRECORDED LEASE AS EVIDENCE BY SUBORDINATION, NON-DISTURBANCE AND ATTORNMEN AGREEMENT IN O.R.B. 38494, PAGE 594 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
    - ITEM 37: INTEREST OF FEE SIMPLE OWNER AND ANY ENCUMBRANCES AFFECTING THE FEE SIMPLE IN O.R.B. 48334, PAGE 388; MORTGAGE RECORDED IN O.R.B. 38494, PAGE 498 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
    - ITEMS 38 & 39: NOT ADDRESSED.
  - ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY RECORDS.

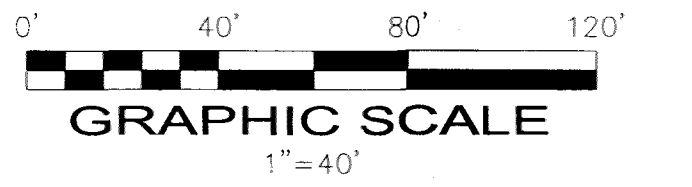
**CERTIFICATION:**  
 TO DACAR MANAGEMENT, LLC.; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY; AMAZON RETAIL LLC, A DELAWARE LIMITED LIABILITY COMPANY.  
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 8, 9 & 11 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON: 07/02/21.  
 DATE OF PLAT OR MAP: 07/02/21

JOHN F. POLICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691  
 BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136  
 VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274  
 DONNA C. WEST, PROFESSIONAL SURVEYOR AND MAPPER LS4290  
 STATE OF FLORIDA

NO.	REVISIONS	BY
1		
2		
3		
4		
5		

**PLANTATION PLAZA**  
 12260, 12398 & 12300-12310 WEST SUNRISE BOULEVARD  
 PLANTATION, BROWARD COUNTY, FLORIDA 33323

**BOUNDARY AND TOPOGRAPHIC SURVEY  
 ALTA/NSPS LAND TITLE SURVEY**



**PULICE LAND SURVEYORS, INC.**  
 5381 NOB HILL ROAD  
 SUNRISE, FLORIDA 33351  
 TELEPHONE: (954) 572-1777  
 FAX: (954) 572-1778  
 E-MAIL: surveys@pulicelandsurveyors.com  
 WEBSITE: www.pulicelandsurveyors.com  
 CERTIFICATE OF AUTHORIZATION LB#3870

**DRAWN BY: J.M.P.**      **SCALE: 1" = 40'**      **CLIENT: DACAR MANAGEMENT, LLC.**  
**CHECKED BY: J.F.P.**      **SURVEY DATE: 07/02/21**      **ORDER NO.: 68496**

**LEGAL DESCRIPTION:**  
 PARCEL 1: THAT PORTION OF TRACT A, PLAT OF "D & C PROPERTIES - SUNRISE AND FLAMINGO", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 147, PAGE 21, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:  
 BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT A; THENCE RUN NORTH 0°09'22" WEST (ON A PLAT BEARING) 131.64 FEET ALONG THE WESTERLY BOUNDARY OF SAID TRACT A TO A POINT OF INTERSECTION; THENCE RUN NORTH 03°50'05" EAST 143.68 FEET ALONG SAID WESTERLY BOUNDARY TO A POINT OF INTERSECTION; THENCE RUN NORTH 0°09'22" WEST 146.17 FEET ALONG SAID WESTERLY BOUNDARY; THENCE RUN NORTH 89°35'44" EAST 251.93 FEET; THENCE RUN NORTH 0°09'22" EAST 171.31 FEET TO AN INTERSECTION WITH THE NORTHERLY BOUNDARY OF SAID TRACT A; THENCE RUN NORTH 89°35'44" EAST 8.85 FEET ALONG SAID NORTHERLY BOUNDARY TO A POINT OF INTERSECTION; THENCE RUN NORTH 89°35'44" EAST 105.00 FEET ALONG SAID NORTHERLY BOUNDARY TO A POINT OF INTERSECTION; THENCE RUN NORTH 89°35'44" EAST 165 FEET ALONG SAID NORTHERLY BOUNDARY TO THE NORTHEAST CORNER OF SAID TRACT A; THENCE RUN SOUTH 0°09'02" EAST 592.20 FEET TO THE SOUTHEAST CORNER OF SAID TRACT A; THENCE RUN SOUTH 89°34'35" WEST 640.73 FEET ALONG THE SOUTH BOUNDARY OF SAID TRACT A, TO THE POINT OF BEGINNING.

PARCEL 2: (EASEMENT INTEREST)  
 TOGETHER WITH NON-EXCLUSIVE EASEMENT RIGHTS FOR THE BENEFIT OF PARCEL 1, DESCRIBED ABOVE, AS CONTAINED IN THAT CERTAIN EASEMENT AGREEMENT BY AND BETWEEN D & C - SUNRISE & FLAMINGO, LTD., A FLORIDA LIMITED PARTNERSHIP AND CRD ASSOCIATES, A FLORIDA GENERAL PARTNERSHIP DATED JULY 10, 1990 AND RECORDED FEBRUARY 15, 1991 IN O.R.B. 18148, PAGE 837, TOGETHER WITH FIRST AMENDMENT TO EASEMENT AGREEMENT RECORDED IN O.R.B. 27670, PAGE 813, BOTH OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3: (EASEMENT INTEREST)  
 TOGETHER WITH NON-EXCLUSIVE EASEMENT RIGHT(S) FOR THE BENEFIT OF PARCEL 1, DESCRIBED ABOVE, AS CONTAINED IN THAT CERTAIN EASEMENT BY AND BETWEEN FORT LAUDERDALE BAPTIST TEMPLE, INC., A FLORIDA CORPORATION; BROWARD CHRISTIAN SCHOOLS, INC., A FLORIDA CORPORATION AND D & C - SUNRISE & FLAMINGO, LTD., A FLORIDA LIMITED PARTNERSHIP DATED OCTOBER 5, 1995 AND RECORDED JANUARY 23, 1996 IN O.R.B. 24409, PAGE 641, TOGETHER WITH ADDENDUM TO EASEMENT RECORDED IN O.R.B. 26517, PAGE 493, BOTH OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 4: (EASEMENT INTEREST)  
 TOGETHER WITH NON-EXCLUSIVE EASEMENT RIGHT(S) FOR THE BENEFIT OF PARCEL 1, DESCRIBED ABOVE, AS CONTAINED IN THAT CERTAIN EASEMENT AGREEMENT BY AND AMONG PLANTATION ACRES IMPROVEMENT DISTRICT, D & C - SUNRISE & FLAMINGO, LTD., A FLORIDA LIMITED PARTNERSHIP, BROWARD CHRISTIAN SCHOOLS, INC., A FLORIDA CORPORATION AND THE FORT LAUDERDALE BAPTIST TEMPLE, INC., A FLORIDA CORPORATION, DATED APRIL 15, 1997 AND RECORDED JUNE 4, 1997 IN O.R.B. 26517, PAGE 504, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



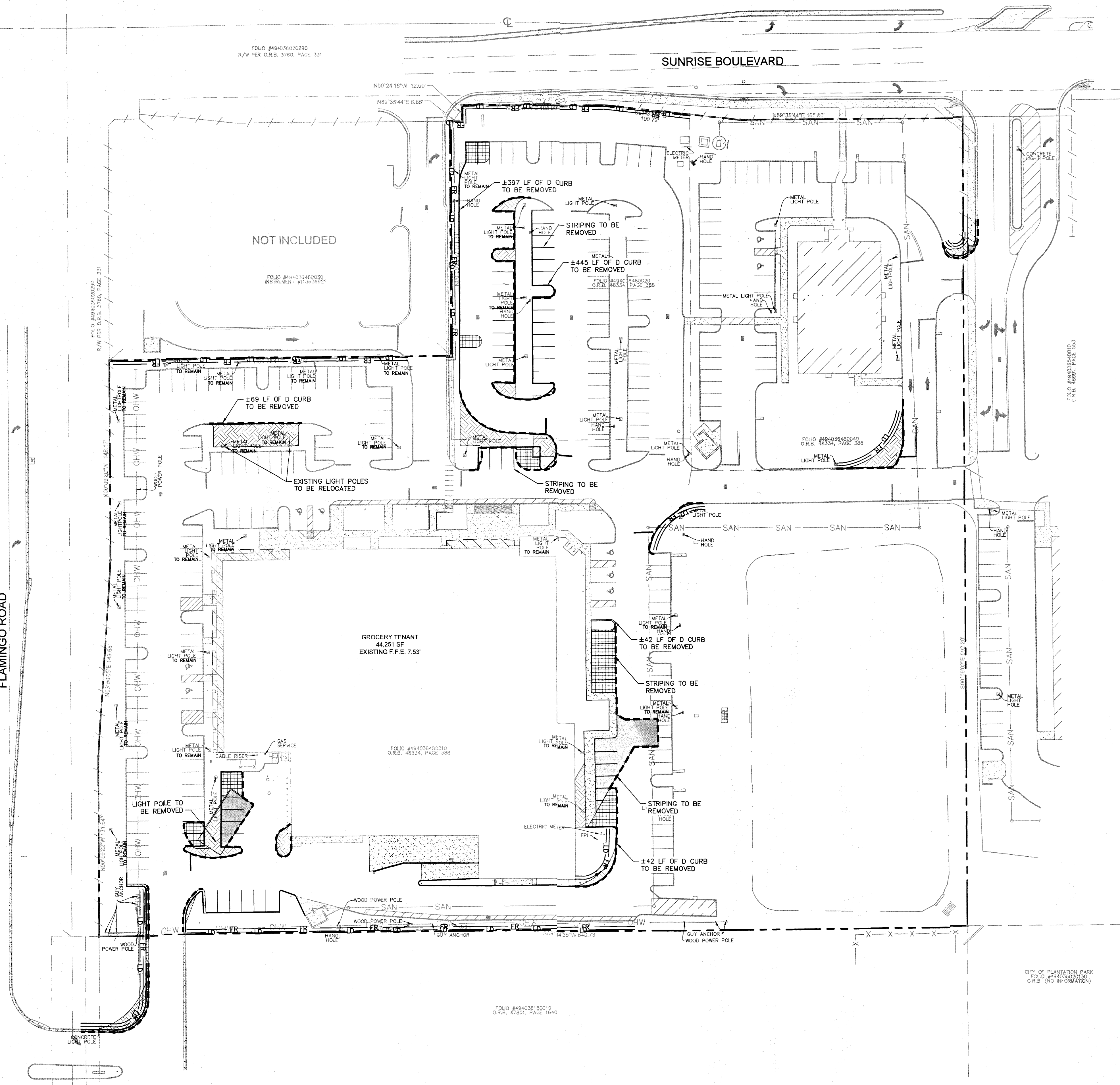




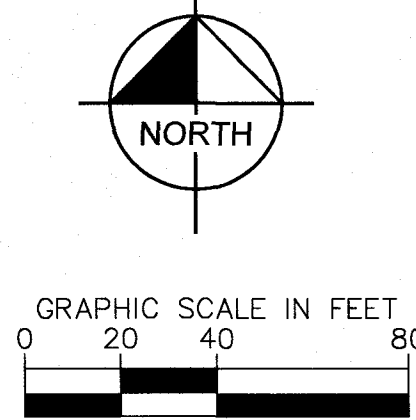
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and completion by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Plotted By: Stocks, Palmer Sheet Set: FLAMINGO PLAZA Layout: C-200 DEMOLITION AND EROSION CONTROL PLAN February 03, 2022 06:19:30pm K:\VRB\_ADEV\147219000 - hngreggs Plantation\CADD\Plansheets\C-200 DEMOLITION PLAN.dwg

FLAMINGO ROAD



- DEMOLITION LEGEND**
- EXISTING CURB TO BE DEMOLISHED
  - EXISTING CURB TO REMAIN
  - EXISTING ASPHALT AND/OR CONCRETE PAVEMENT ONLY TO BE REMOVED OR RESTORED (REFER TO PAVEMENT DELINEATION PLAN)
  - EXISTING LANDSCAPE AREA TO BE DEMOLISHED
  - EXISTING ASPHALT PAVING AND BASE TO BE REMOVED
  - EXISTING CONCRETE PAVEMENT/SIDEWALK TO BE REMOVED
  - SAWCUT, REFER TO DETAIL SHEET
  - FILTERTRENCH SEDIMENT CONTROL (SEE SHEET C-202)
  - LIMITS OF DISTURBANCE



**PRIOR TO CONSTRUCTION COMMENCEMENT PHASE II EROSION CONTROL TO BE IN PLACE**

**ONCE THE PROJECT IMPROVEMENTS ARE COMPLETE THE CONTRACTOR SHALL SANDBLAST ALL EXISTING STRIPING EXCEPT FOR THE JAREDS PARCEL AND SEAL COAT (2 COATS) AND RESTRIPE (2 COATS) PER THE CITY REQUIREMENTS. THIS INCLUDES PARKING STALL STRIPES, PAVEMENT MARKINGS, STOP BARS, ETC.**

**DEMOLITION NOTES:**

1. THESE DEMOLITION PLANS ARE BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY.
2. CONTRACTOR IS REQUIRED TO OBTAIN ALL DEMOLITION PERMITS.
3. ALL FEATURES IDENTIFIED ON THESE PLANS WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE. AFTER DEMOLITION IS COMPLETE THE SITE SHALL BE DELIVERED IN A CONDITION SUITABLE FOR DEVELOPMENT.
4. CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY THE DEVELOPER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
5. CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM THE SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
6. STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. ON SITE STOCKPILE AND BORROW AREA LOCATIONS TO BE DETERMINED BY THE CONTRACTOR BASED CONSTRUCTION PHASING NEEDS AND SHALL BE LOCATED AND MAINTAINED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
7. FOR ANY MATERIALS TO BE RECYCLED, CONTRACTOR MUST FIRST REMOVE ALL HAZARDOUS MATERIAL FROM THE MATERIALS TO BE RECYCLED IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL HAZARDOUS MATERIALS HANDLING AND DISPOSAL CRITERIA AND IN ACCORDANCE WITH ENVIRONMENTAL RECOMMENDATIONS PROVIDED BY THE PROJECT ENVIRONMENTAL CONSULTANT.
8. RECYCLED MATERIALS TO BE USED AS REPLACEMENT MATERIAL WILL MEET APPLICABLE FDOT SPECIFICATIONS FOR THE MATERIAL BEING REPLACED. CONTRACTOR TO OBTAIN APPROVAL FROM THE ENGINEER OF RECORD FOR THE USE OF ANY RECYCLED MATERIAL AS REPLACEMENT MATERIAL.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
10. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
11. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDINGS PRIOR TO DEMOLITION OF THE BUILDINGS.
13. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
14. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
15. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
16. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CONSTRUCTION MANAGER.
17. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
18. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
19. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE STORE AND SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY/COUNTY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
20. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
21. THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT EXISTING FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS REQUIRED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
22. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
23. PAVEMENT STRIPING AND MARKING MAY CONTAIN TRACE AMOUNTS OF LEAD, THE DISPOSAL OF ALL SUSPECTED LEAD-CONTAINING PAINT SHALL BE PERFORMED IN ACCORDANCE WITH 40 CODE OF FEDERAL REGULATIONS (CFR) PART 263 - LAND DISPOSAL REGULATIONS.

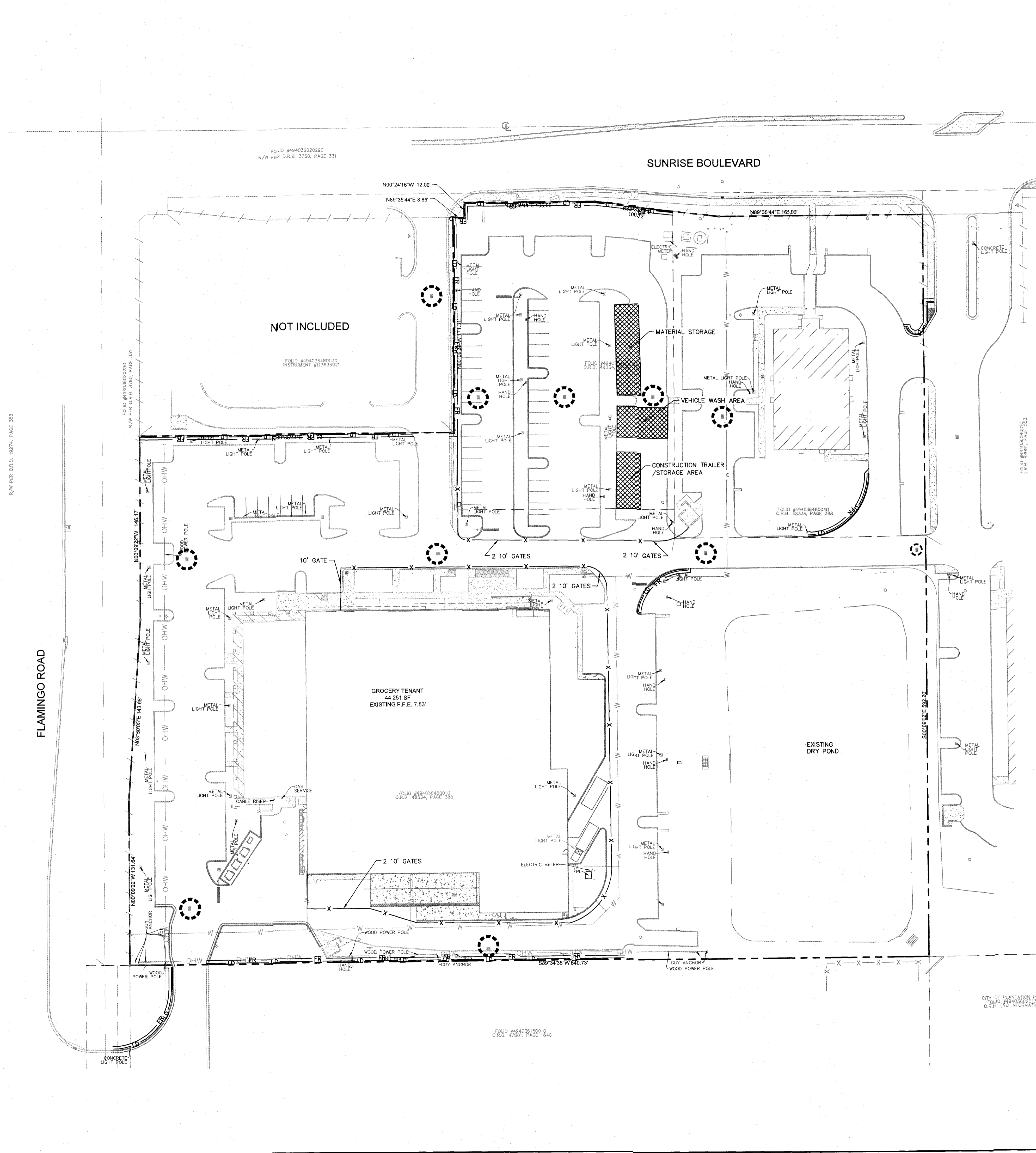
**Always call 811 two full business days before you dig to have underground utilities located and marked.**



<b>Kimley»Horn</b>	
© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 601 21st STREET, SUITE 300, VERO BEACH, FL 32960 PHONE: 772-562-7981 FAX: 772-562-9689 WWW.KIMLEY-HORN.COM CA 00000996	
2/3/2022	
KHA PROJECT 147219001	DATE 02/03/22
SCALE AS SHOWN	DESIGNED BY DTW DRAWN BY SDS CHECKED BY PVR
<b>DEMOLITION AND EROSION CONTROL PLAN</b>	
<b>FLAMINGO PLAZA</b>	FLORIDA
PREPARED FOR <b>FLAMINGO SUNRISE INVESTMENTS, LLC</b>	
CITY OF PLANTATION	
SHEET NUMBER <b>C-200</b>	



This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and/or improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**SEQUENCE OF CONSTRUCTION**  
 UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

**PHASE 1 (BEFORE AND DURING GRADING)**

1. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) AND INSTALL FILTERXX.
2. DEMOLISH EXISTING STRUCTURES, IF APPLICABLE (SEE DEMOLITION PLANS).
3. INSTALL AND STABILIZE ANY NECESSARY HYDRAULIC CONTROL STRUCTURES (DIKES, CHECK DAMS, OUTLET TRAPS, ETC.).
4. PREPARE CLEARING AND GRUBBING OF THE SITE, IF APPLICABLE.

HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM INSPECTION AND CERTIFICATION OF BMPs. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND-DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.

CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING ALL DEWATERING PERMITS NECESSARY FOR CONSTRUCTION.

**PHASE 2 (AFTER GRADING AND DURING CONSTRUCTION)**

1. START CONSTRUCTION.
2. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE OR AS REQUIRED BY GENERIC PERMIT.
3. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, AND CURBS.
4. INSTALL INLET PROTECTION AT ALL STORM DRAIN INLETS AS EACH INLET IS INSTALLED. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
5. PREPARE SITE FOR PAVING AND PAVE SITE.
6. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
7. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
8. CONTACT CIVIL ENGINEER ONCE THE SITE APPEARS TO BE FULLY STABILIZED.
9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER INSPECTION AND APPROVAL OF THE ENGINEER AND STABILIZE ANY AREA DISTURBED BY THE REMOVAL OF BMPs.
10. CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION IS SIGNED OFF BY THE CONSTRUCTION MANAGER THAT THE SITE IS FULLY STABILIZED AND THE PERMIT MAY BE TERMINATED.

**MAINTENANCE (ALL PHASES)**  
 ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE CONTRACTOR/PRIMARY PERMITEE. THESE MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE); THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

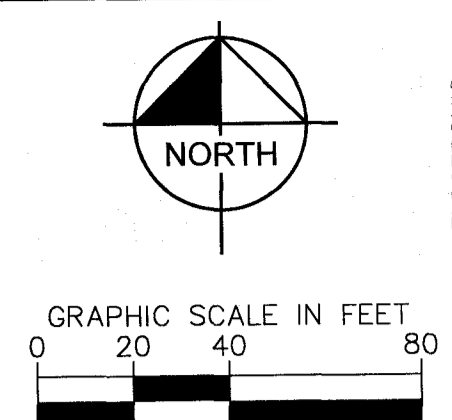
- NOTES**
1. CONTRACTOR TO CONSIDER POTENTIAL DEWATERING ACTIVITIES WHEN PREPARING BID DOCUMENTS FOR THIS PROJECT.
  2. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEWATERING PERMITS AS SITE CONDITIONS AND CONSTRUCTION ACTIVITIES REQUIRE.
  3. CONTRACTOR TO USE B.M.P.'S TO ENSURE COMPLIANCE WITH NPDES AND WATER MANAGEMENT DISTRICT REGULATIONS FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND DEWATERING OPERATIONS.
  4. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR, OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

- CONSTRUCTION ENTRANCE NOTES**
1. STONE SIZE - USE #2 STONE OR RECLAIMED RECYCLED CONCRETE EQUIVALENT.
  2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
  3. DEPTH - NOT LESS THAN SIX (6) INCHES.
  4. WIDTH - TWENTY (20) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
  5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
  8. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. USE WATERING TRUCK OR ONSITE SUPPLY AS AVAILABLE.
  9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN EVENT.

- NOTES**
1. FOR STABILIZATION FOLLOWING LAND CLEARING, SOIL TO BE SODDED OR SEEDED AND MULCHED.
  2. NO ADDITIONAL LAND CLEARING SHALL COMMENCE UNTIL A SATISFACTORY INSPECTION OF THE REQUIRED EROSION CONTROL DEVICES AND BARRICADES HAS BEEN OBTAINED.
  3. A LAND CLEARING PERMIT MAY BE OBTAINED SUBSEQUENT TO THE SATISFACTORY INSPECTION OF THE CONTROL STRUCTURE BARRICADES. THIS PERMIT SHALL BE POSTED IN THE PERMIT BOX, ITS LOCATION SHOWN ELSEWHERE ON THIS PAGE.
  4. ALL CONSTRUCTION BARRICADES AND SILT FENCES WILL REMAIN IN PLACE AND BE MONITORED FOR COMPLIANCE BY THE PERMIT HOLDER DURING THE PERMITTED DEVELOPMENT ACTIVITIES.
  5. FOLLOWING CERTIFICATION OF OCCUPANCY FOR THE DEVELOPMENT, ALL BARRICADES AND EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.

ACREAGE SUMMARY	
TOTAL PROJECT AREA (PHASE I)	7.68
ON-SITE DISTURBED AREA	7.68
OFF-SITE DISTURBED AREA	0.00
TOTAL DISTURBED AREA	7.68
IMPERVIOUS AREA AT COMPLETION	3.238
PERVIOUS / SEEDED AREA AT COMPLETION / POND AREA	3.238

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE												
NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE												
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEPT	OCT	NOV	DEC
TEMPORARY CONSTRUCTION EXITS												
TEMPORARY CONTROL MEASURES												
SEDIMENT CONTROL BASINS												
STRIP & STOCKPILE TOPSOIL												
ROUGH GRADE												
STORM FACILITIES												
SITE CONSTRUCTION												
PERMANENT CONTROL STRUCTURES												
FOUNDATION / BUILDING CONSTRUCTION												
FINISH GRADING												
LANDSCAPING/SEED/FINAL STABILIZATION												



- EROSION CONTROL LEGEND**
- PROPOSED INLET PROTECTION
  - PROPOSED FILTERXX SEDIMENT CONTROL (SEE SHEET C-202)
  - RUMBLE PAD (SEE SHEET C-202)
  - SURFACE WATER FLOW DIRECTION
  - PROPERTY LINE
  - LIMITS OF DISTURBANCE
  - CONSTRUCTION FENCE

NO.	REVISIONS	DATE	BY

**Kimley»Horn**

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 PHONE: 772-562-7981 FAX: 772-562-9689  
 WWW.KIMLEY-HORN.COM CA 00006996

2/3/2022

**GREGORY D. WILFONG**  
 LICENSE # 147219001  
 PROFESSIONAL ENGINEER  
 STATE OF FLORIDA

KHA PROJECT  
 147219001

DATE  
 02/03/22

SCALE AS SHOWN

DESIGNED BY GDW

DRAWN BY RS

CHECKED BY GDW

**EROSION CONTROL PLAN PHASE II**

**GROCERY STORE**  
 PREPARED FOR  
**FLAMINGO SUNRISE INVESTMENTS, LLC**

FLORIDA  
 CITY OF PLANTATION

SHEET NUMBER  
**C-201**

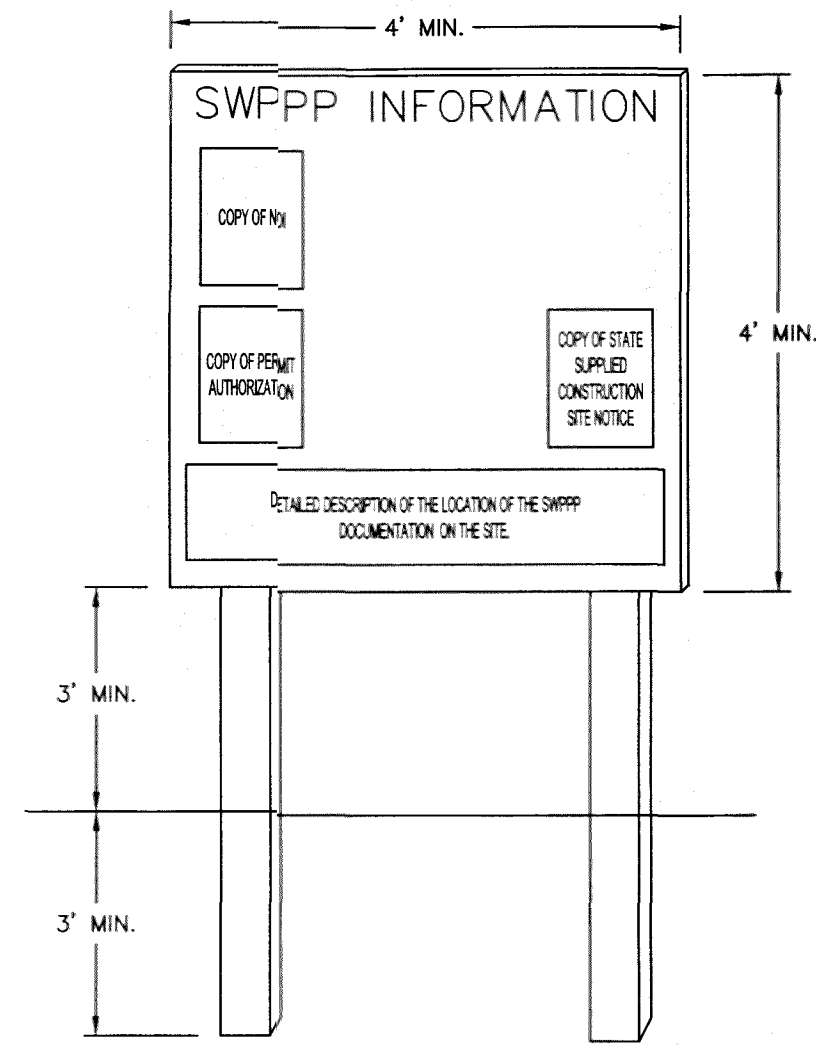
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**Sunshine811.com**



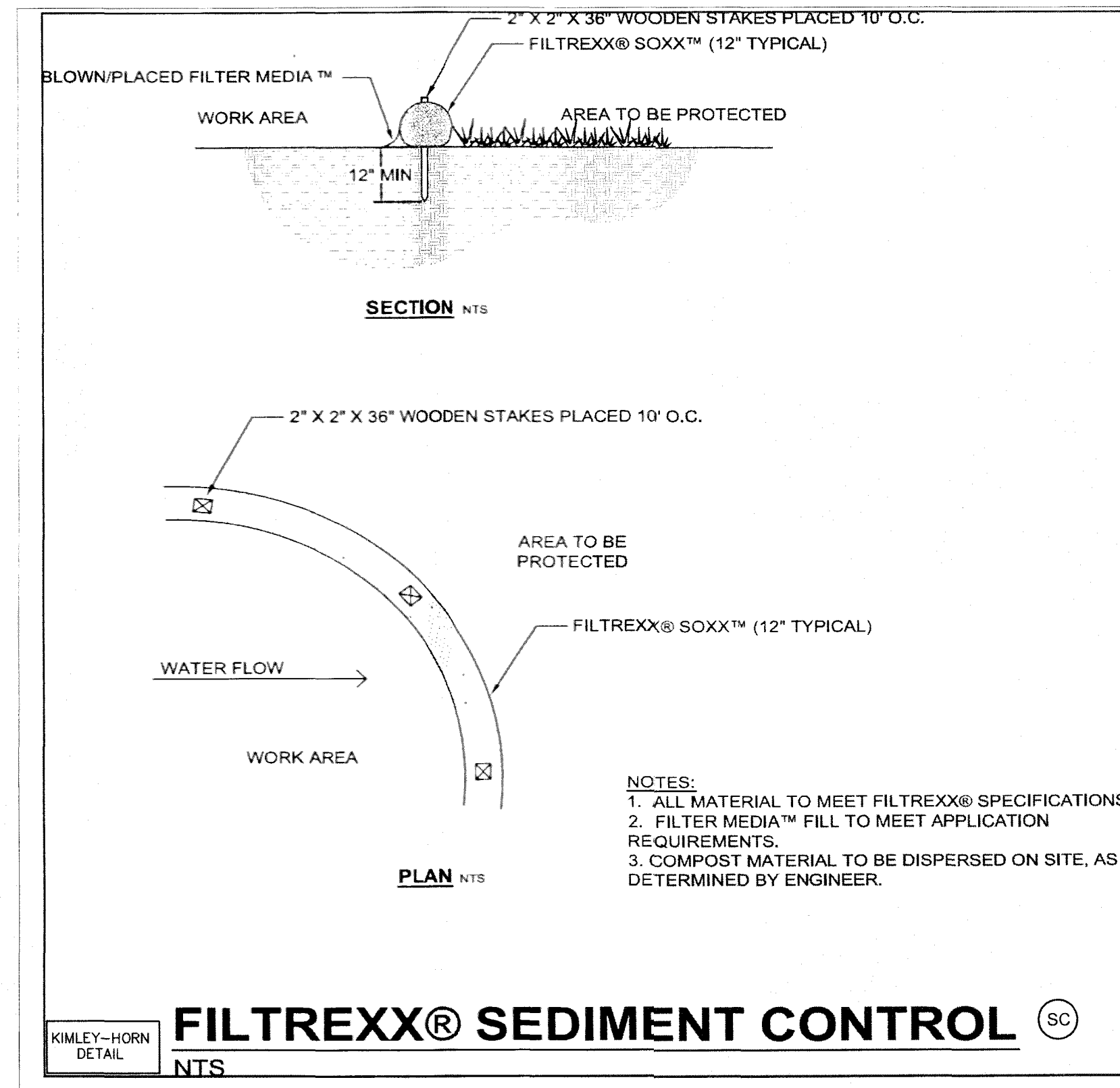
**EROSION CONTROL NOTES**

1. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UP-SLOPE LAND DISTURBANCE TAKES PLACE.
2. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
3. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
4. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
5. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED.
6. AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
7. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, SLOPE DRAIN STRUCTURE OR APPROVED CONTROL.
8. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORM WATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
9. WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
10. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
11. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ON THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
12. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
13. PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
14. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
15. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
16. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.
17. NOI TO BE POSTED ON SITE.

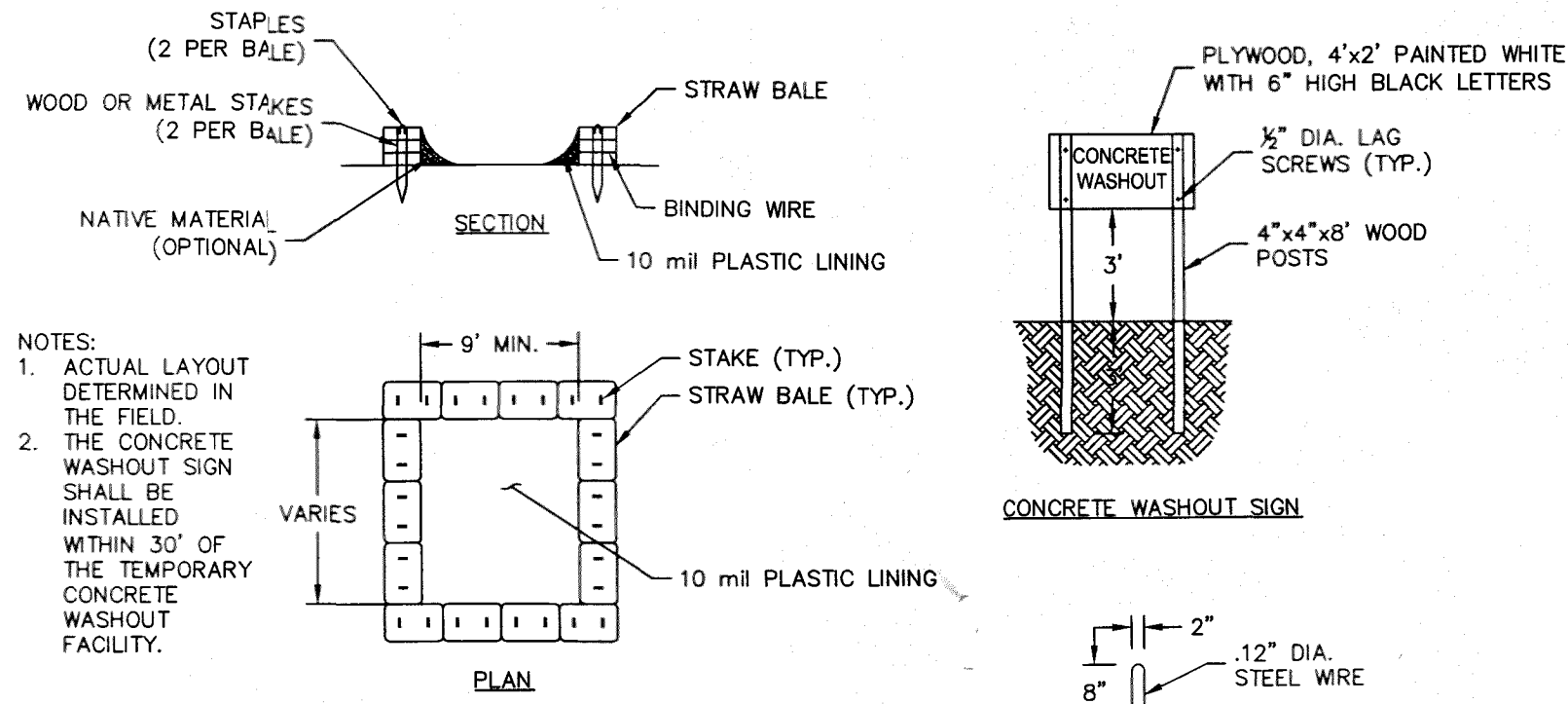


**SWPPP INFORMATION SIGN**  
N.T.S.

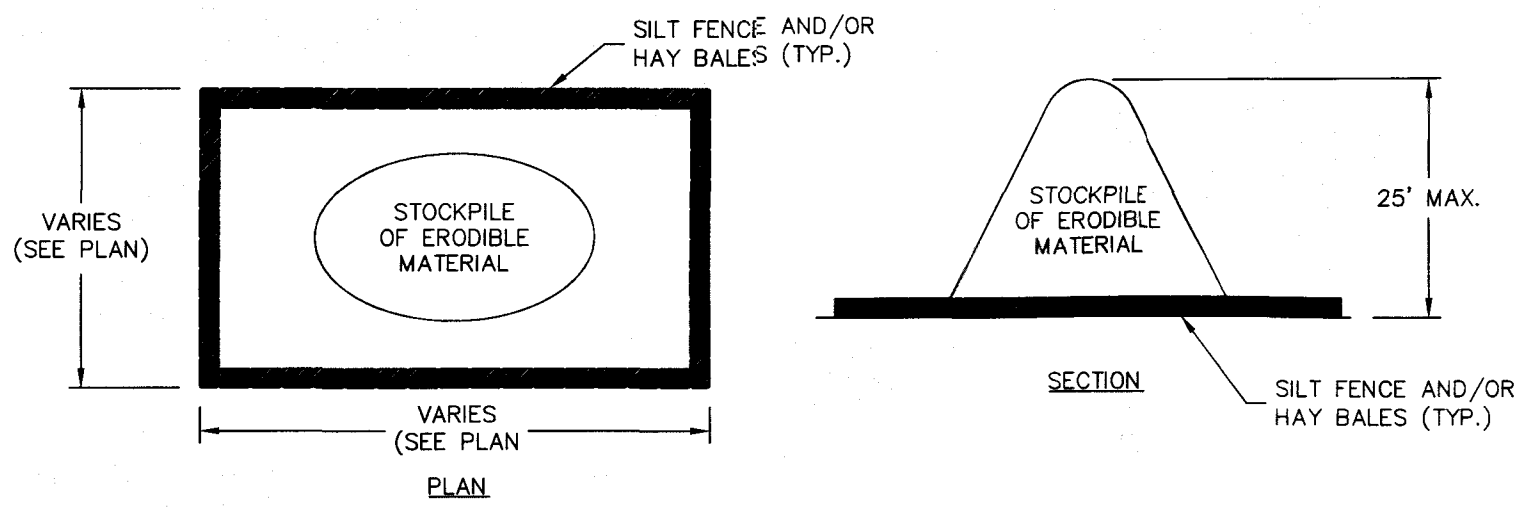
- NOTES:
1. "SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.
  2. SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.).
  3. THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE ENTRANCE/EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE/VISIBLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
  4. ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
  5. CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE LOCAL AGENCY.
  6. SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
  7. CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THIS SWPPP INFORMATION SIGN.



**FILTREXX® SEDIMENT CONTROL**  
N.T.S.

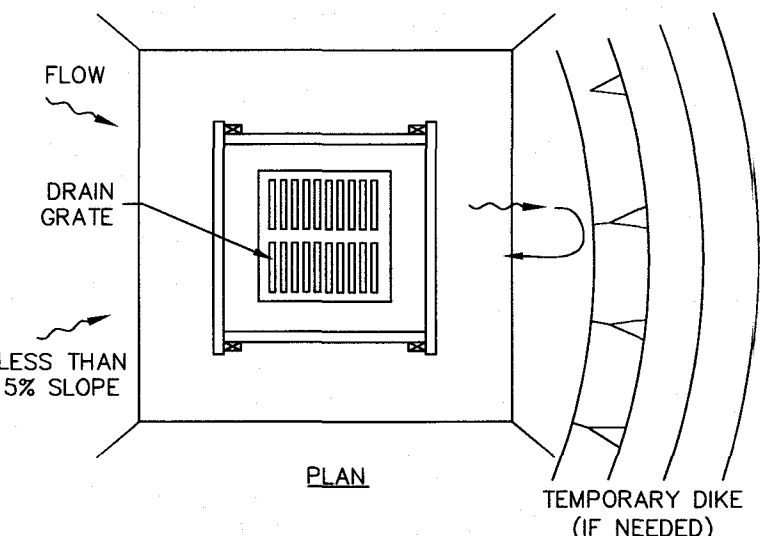
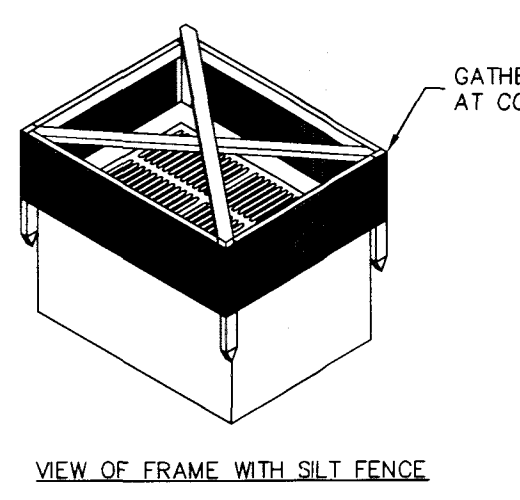
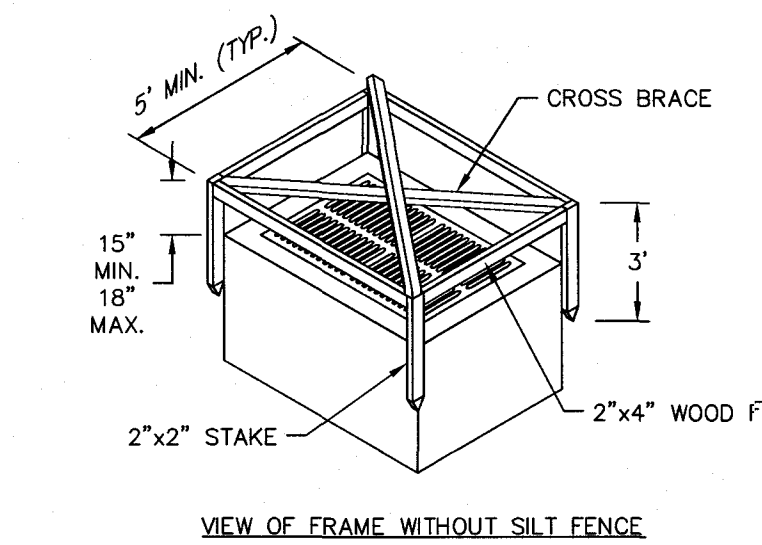


**CONCRETE & STUCCO WASTE MANAGEMENT**  
N.T.S.



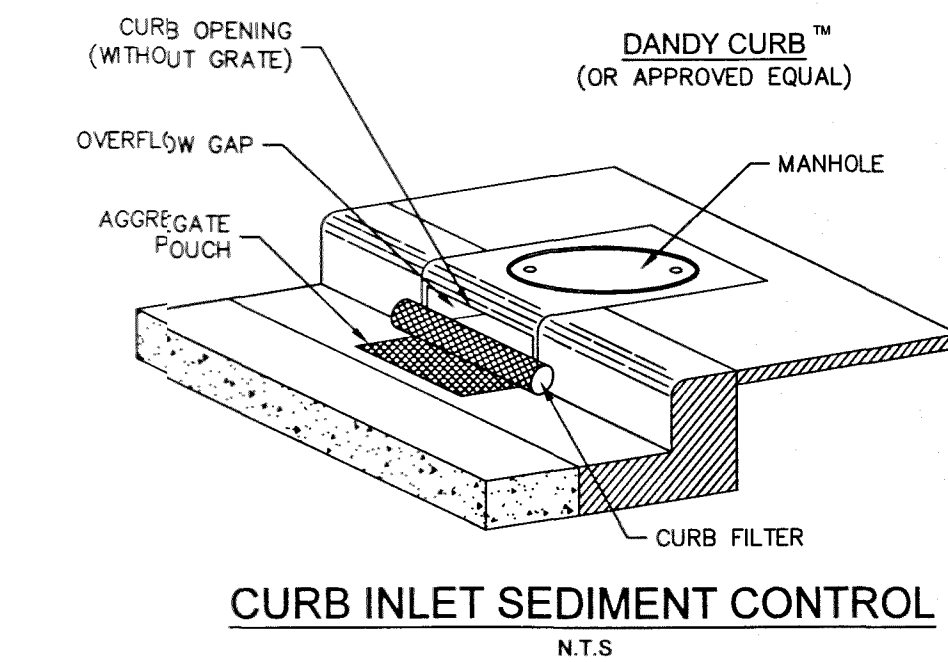
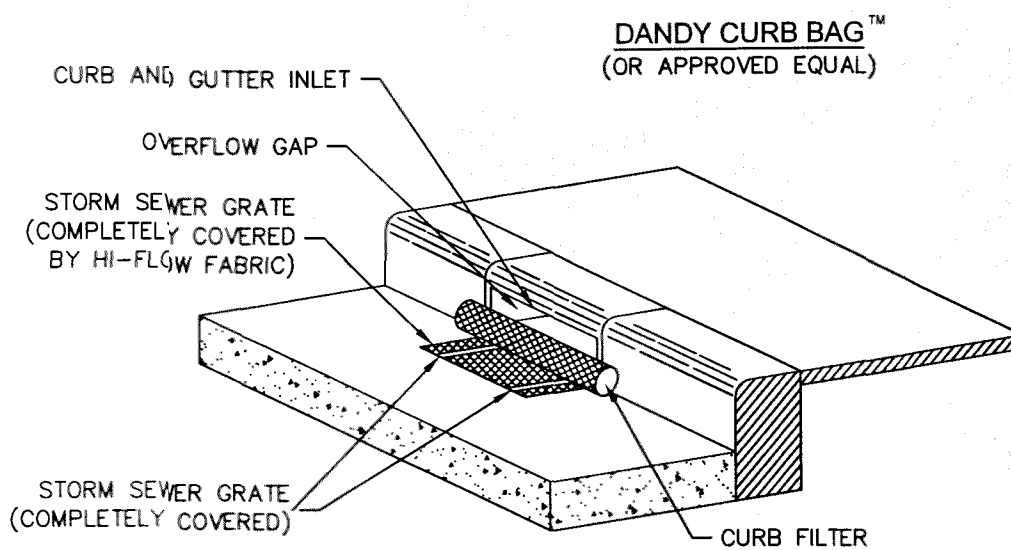
**SEDIMENT CONTROL FOR STOCKPIILING OF ERODIBLE MATERIAL**  
N.T.S.

NOTE: WHEN STOCKPIILING ERODIBLE MATERIAL FOR EXTENDED PERIODS, THE AREA SHALL BE SEEDED AND MULCHED.

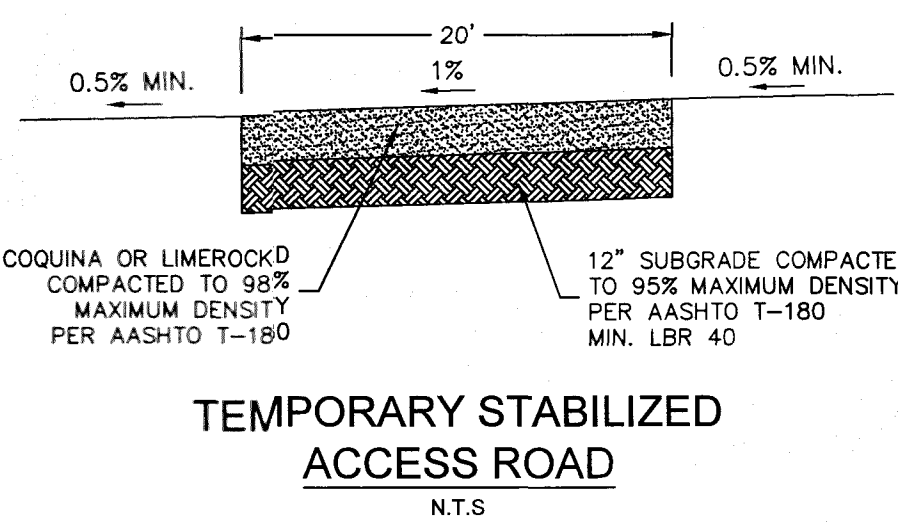


**SILT FENCE INLET PROTECTION**  
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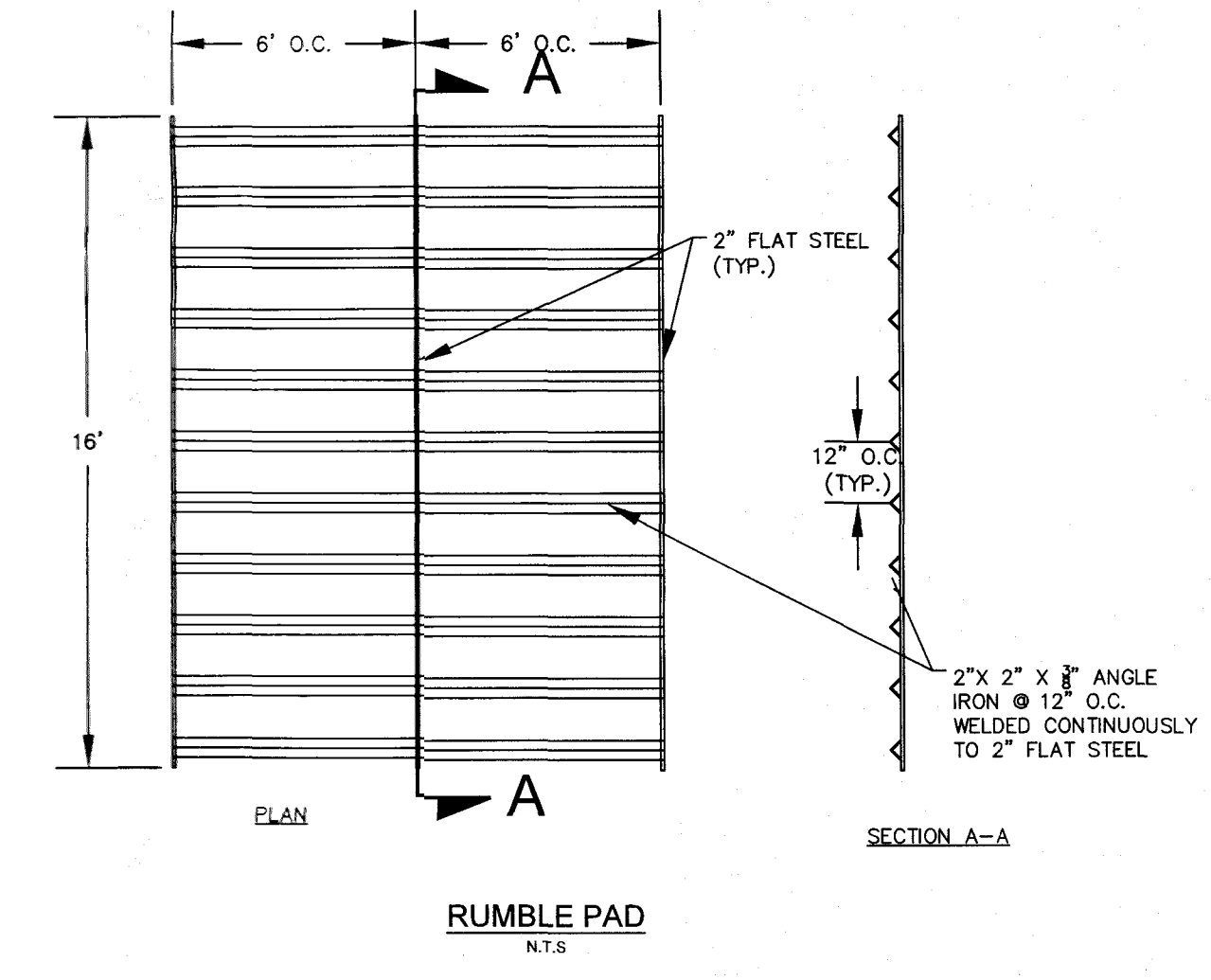
- NOTES:
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS.
  2. THE TOP OF THE FRAME (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY PASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.
  3. THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS IS A RELATIVELY FLAT AREA (SLOPE NO GREATER THAN 5%) WHERE THE INLET SHEET OR OVERLAND FLOWS (NOT EXCEEDING 1 C.F.S.) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.



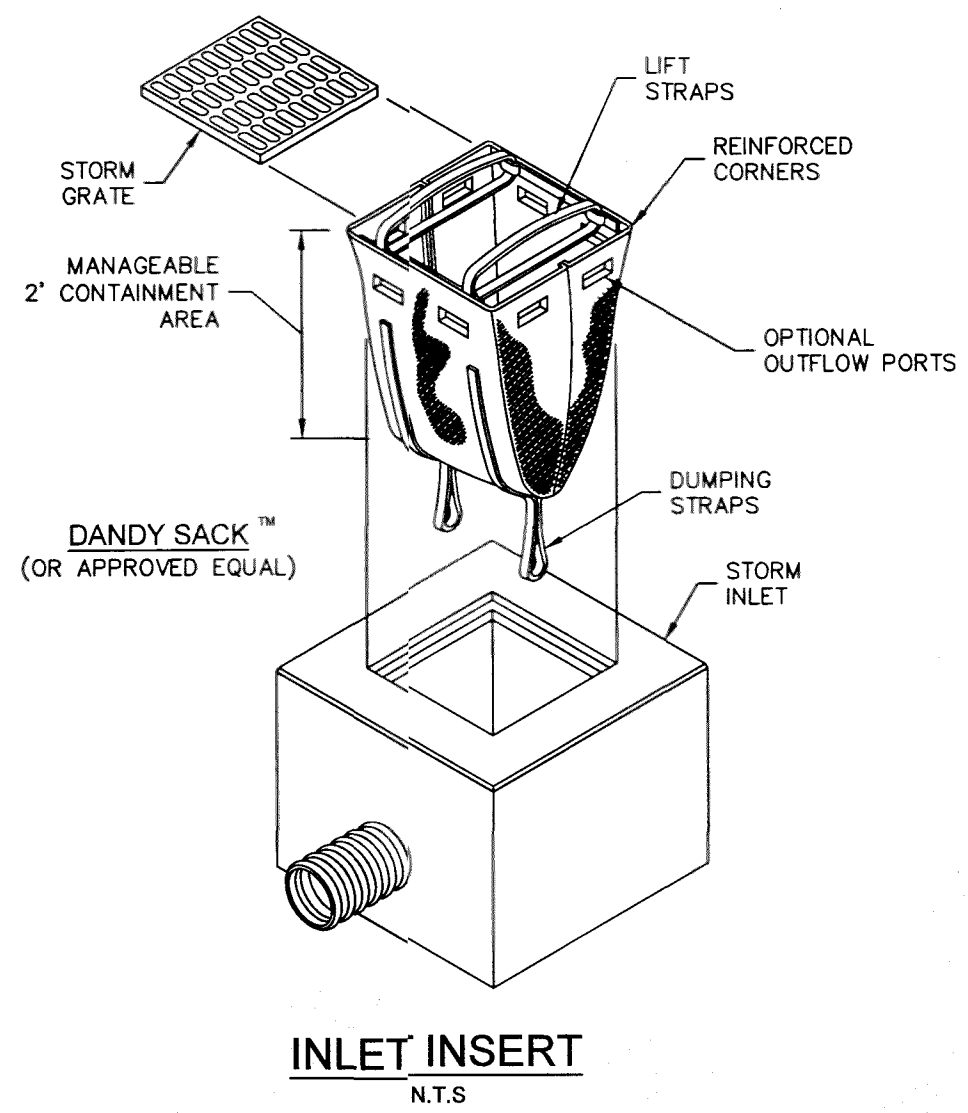
**CURB INLET SEDIMENT CONTROL**  
N.T.S.



**TEMPORARY STABILIZED ACCESS ROAD**  
N.T.S.



**RUMBLE PAD**  
N.T.S.



**INLET INSERT**  
N.T.S.

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1
MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

- NOTES:
1. FOR TEMPORARY USE TO CAPTURE LARGER DIAMETER SEDIMENTS.
  2. NOT TO BE UTILIZED AS THE ONLY SEDIMENT CONTAINMENT SYSTEM.
  3. GEOTEXTILE WILL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
  4. AN OIL ADSORBENT PAD OR PILLOW CAN BE PURCHASED WHEN OIL SPILLS ARE A CONCERN.
  5. INSPECT PER REGULATORY REQUIREMENTS.

Always call 811 two full business days before you dig to have underground utilities located and marked.

**Sunshine811.com**

**Kimley»Horn**

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PHONE: 772-562-9898 FAX: 772-562-9899  
WWW.KIMLEY-HORN.COM CA 00006699

2/3/2022

**GREGORY D. WILFONG**  
REGISTERED PROFESSIONAL ENGINEER  
No. 97865  
STATE OF FLORIDA

KHA PROJECT: 1472191001  
DATE: 02/03/22  
SCALE: AS SHOWN  
DESIGNED BY: GDW  
DRAWN BY: RS  
CHECKED BY: GDW

**EROSION CONTROL NOTES AND DETAILS**

**FLAMINGO PLAZA**  
PREPARED FOR  
**FLAMINGO SUNRISE INVESTMENTS, LLC**

CITY OF PLANTATION FLORIDA

SHEET NUMBER  
**C-202**



This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared, those of and no other purpose, and no other person shall be bound by it without the written authorization and acceptance of Kimley-Horn and Associates, Inc. This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared, those of and no other purpose, and no other person shall be bound by it without the written authorization and acceptance of Kimley-Horn and Associates, Inc.

PROJECT NAME: FLAMINGO PLAZA LATITUDE: N 26° 8' 40" LONGITUDE: W 80° 18' 46"	OWNER: FLAMINGO SUNRISE INVESTMENT LLC OWNER'S ADDRESS: 336 E. DANIA BEACH BLVD. DANIA, FL 33004
DESCRIPTION OR NATURE OF CONSTRUCTION ACTIVITY: CONSTRUCTION OF INFRASTRUCTURE FOR SHOPPING CENTER SOIL DISTURBING ACTIVITIES INCLUDE: CONSTRUCTION OF EROSION AND SEDIMENT CONTROLS, CLEARING AND GRUBBING, GRADING, AND CONSTRUCTION OF STORM SEWER. PROJECT AREA CONTAINS 27,675 ACRES.	
SEQUENCE OF MAJOR ACTIVITIES: 1. REFER TO SHEET C300 SITE PLAN OVERALL.	
NAME OF RECEIVING WATER: ONSITE LAKE THEN PLANTATION ACRES IMPROVEMENT DISTRICT CANAL C-58	
CONTROLS	
EROSION AND SEDIMENTATION CONTROLS	
STABILIZATION PRACTICES	
TEMPORARY STABILIZATION: TOP OF SOIL STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 21 DAYS WILL BE STABILIZED WITH TEMPORARY GRASS AND MULCH NO LATER THAN 5 DAYS FROM THE LAST CONSTRUCTION ACTIVITY. GRASS SEED SHALL BE A MIXTURE OF 20 PARTS OF BERBERIS SEED AND 80 PARTS OF PENSACOLA BAHIA THE SEPARATE TYPES OF SEED SHALL BE THOROUGHLY DRY MIXED IMMEDIATELY BEFORE SOWING. SEED WHICH HAS BECOME WET SHALL NOT BE USED. THE MULCH MATERIAL USED SHALL NORMALLY BE DRY MULCH. DRY MULCH SHALL BE STRAW OR HAY, CONSISTING OF OAT, RYE OR WHEAT STRAW, OR OF PANDOLA, PEANUT, COASTAL BERMUDA OR BAHIA GRASS HAY. ONLY UNDETERIORATED MULCH WHICH CAN BE READILY CUT INTO THE SOIL SHALL BE USED. AREAS OF THE SITE WHICH ARE TO BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING STABILIZATION AND BASE.	
PERMANENT STABILIZATION: DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASES SHALL BE STABILIZED PER LANDSCAPE PLAN NO LATER THAN 5 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY.	
STRUCTURAL PRACTICES	
STAKED SILT FENCE: THE STAKED SILT FENCES WILL BE CONSTRUCTED PER PLAN. THESE DEVICES WILL STOP AND DIVERT RUNOFF TO THE SEDIMENT BASINS.	
STORMWATER MANAGEMENT	
STORMWATER DRAINAGE WILL BE PROVIDED BY CURBING, STORM SEWER, WET PONDS, DRY PONDS AND CATCH BASIN SYSTEM FOR THE DEVELOPED AREAS. WHEN CONSTRUCTION IS COMPLETE, THE IMPROVED PORTION OF THE SITE WILL BE TREATED WITH AN EXISTING WATERBODY TO THE SOUTHEAST OF THE SUBJECT PROPERTY.	
OTHER CONTROLS	
WASTE DISPOSAL	
WASTE MATERIALS: ALL WASTE MATERIAL WILL BE COLLECTED AND STORED IN DUMPSTERS PER LOCAL AGENCIES REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTERS. THE DUMPSTERS WILL BE EMPTIED A MINIMUM OF ONCE A WEEK OR MORE OFTEN IF NECESSARY, AND THE TRASH WILL BE HAULED TO A REGISTERED LANDFILL OR DISPOSAL. NO CONSTRUCTION MATERIALS WILL BE BURIED ON-SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED IN THE ON-SITE OFFICE TRAILER AND THE CONSTRUCTION MANAGER RESPONSIBLE FOR THE DAY-TO-DAY OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.	
HAZARDOUS WASTE: ALL HAZARDOUS WASTE MATERIALS, IF ENCOUNTERED, WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS. THE CONTRACTOR WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.	
SANITARY WASTE: ALL SANITARY WASTE WILL BE COLLECTED FROM PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATION.	
OFFSITE VEHICLE TRACKING	
STABILIZED CONSTRUCTION ENTRANCES SHALL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREETS WILL BE CLEANED AS NEEDED TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM OR TO THE SITE WILL BE COVERED WITH A TARPULIN AT ALL TIMES.	

TIMING OF CONTROL MEASURES
AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, STAKED SILT BARRIERS, STABILIZED CONSTRUCTION ENTRANCES AND SEDIMENT BASINS WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 21 DAYS WILL BE STABILIZED WITH A TEMPORARY GRASS AND MULCH WITHIN 5 DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN THAT AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SOIL. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE TRAPS AND THE STAKED SILT BARRIERS WILL BE REMOVED.
CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS
THE STORM WATER POLLUTION PREVENTION PLAN REFLECTS THE SOUTH FLORIDA WATER MANAGEMENT DISTRICTS (SFWMD) REQUIREMENTS FOR STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL, AS ESTABLISHED BY THE FLORIDA ADMINISTRATIVE CODE, CHAPTER 400-4 AND 400-40. TO ENSURE COMPLIANCE, THIS PLAN WAS PREPARED IN ACCORDANCE WITH SFWMD'S "BASIS OF REVIEW FOR SURFACE WATER MANAGEMENT PERMIT APPLICATIONS WITHIN THE SOUTH WEST FLORIDA WATER MANAGEMENT DISTRICT. THIS PLAN ALSO REFLECTS THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
MAINTENANCE INSPECTION PROCEDURES
EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES
THESE ARE THE INSPECTION AND MAINTENANCE PRACTICES THAT SHALL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROL. ALL CONTROL MEASURES IN DISTURBED AREAS WILL BE INSPECTED AT LEAST ONCE EACH WEEK AND WITHIN 24 HOURS OF THE END OF ANY STORM EVENT OF 0.25 INCHES OR GREATER BY A CONTRACTOR REPRESENTATIVE. (WHERE SITES HAVE BEEN FINALLY STABILIZED SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH.) ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS BEEN REACHED ONE-THIRD THE HEIGHT OF THE FENCE. SILT FENCE WILL BE INSPECTED REGULARLY FOR DEPTH OF SEDIMENT. CARES TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND. THE SEDIMENT BASINS WILL BE INSPECTED FOR DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT PERMANENT GRASSING, MULCHING AND SOILING WILL BE INSPECTED FOR BARE SPOTS, WASHES AND HEALTHY GROWTH. A MAINTENANCE INSPECTION REPORT SHALL BE MADE AFTER EACH INSPECTION BY THE CONTRACTOR AND SHALL BE KEPT IN A ACTIVE LOG, READILY AVAILABLE AT THE JOB SITE CONSTRUCTION TRAILER. THE SITE SUPERINTENDENT WILL SELECT INDIVIDUALS WHO WILL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES. FILLING OUT THE INSPECTION AND MAINTENANCE REPORT WILL BE BY THE CONTRACTOR PERSONNEL SELECTED FOR MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ON-SITE IN GOOD WORKING ORDER.
NON-STORM WATER DISCHARGES
IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD: WATER FROM FIRE FIGHTING ACTIVITIES, FIRE HYDRANT FLUSHING, WATER LINE FLUSHING, WATER USED TO SPRAY OFF LOOSE SOILS FROM VEHICLES, DUST CONTROL, PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED). ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE. GROUNDWATER DEWATERING ACTIVITIES ARE NOT COVERED BY THIS PERMIT. THE CONTRACTOR MUST APPLY FOR COVERAGE UNDER THE GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY PURSUANT TO 62-621.300(2), F.A.C.
INVENTORY FOR POLLUTION PREVENTION PLAN
THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED, BUT NOT LIMITED, TO BE PRESENT ON-SITE DURING CONSTRUCTION: CONCRETE DETERGENTS PAINTS (ENAMEL AND LATEX) METAL STUDS GLASS TAR SAND FERTILIZERS PETROLEUM BASED PRODUCTS AND FUELS CLEANING SOLVENTS WOOD MASONRY BLOCK ROOFING SHINGLES STONE
SPILL PREVENTION
MATERIAL MANAGEMENT PRACTICES
THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF. GOOD HOUSEKEEPING: THE FOLLOWING GOOD HOUSEKEEPING PRACTICES SHALL BE FOLLOWED ON-SITE DURING THE CONSTRUCTION PROJECT. AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB. ALL MATERIALS STORED ON-SITE SHALL BE STORED NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER CONTAINED ENCLOSURE. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL MANUFACTURER'S LABELED CONTAINERS. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. WHENEVER POSSIBLE, ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER. MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON-SITE. HAZARDOUS PRODUCTS: THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS. PRODUCTS SHALL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS' OR LOCAL AND STATE RECOMMENDED METHODS OF PROPER DISPOSAL SHALL BE FOLLOWED. THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON-SITE: PETROLEUM PRODUCTS: ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. FERTILIZERS: FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTICULARLY USED BAG OF FERTILIZER WILL BE TRANSFERRED TO BE SEALABLE PLASTIC BIN TO AVOID SPILLS. PAINTS: ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS. CONCRETE TRUCKS: CONTRACTOR SHALL DESIGNATE AN AREA FOR DISCHARGE OF SURPLUS CONCRETE OR DRUM WASH WATER AND SHALL INSTALL A CONTAINMENT BERM AROUND THIS AREA TO PREVENT RUNOFF TO THE REMAINDER OF THE SITE. HARD DEBRIS SHALL BE DISPOSED OF BY CONTRACTOR UPON COMPLETION OF THE PROJECT.

SPILL CONTROL PRACTICES		
IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP: MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIALS WILL INCLUDE, BUT NOT BE LIMITED TO: BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SANDMIST AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. THE SPILL AREAS WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEAN UP MEASURES WILL ALSO BE INCLUDED. THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE WILL DESIGNATE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEAN UP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ON-SITE.		
NOTICE OF INTENT (NOI) / NOTICE OF TERMINATION (NOT)		
<ul style="list-style-type: none"> <li>THIS NOTICE OF INTENT (NOI) FORM IS TO BE COMPLETED AND SUBMITTED TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) BEFORE USE OF THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES PROVIDED IN SUBSECTION 62-621.300(4), F.A.C.</li> <li>A NOTICE OF TERMINATION WILL BE SUBMITTED TO EPA AFTER THE CONSTRUCTION HAS BEEN COMPLETED AND THE SITE HAS UNDERGONE FINAL STABILIZATION.</li> </ul>		
POLLUTION PREVENTION PLAN CERTIFICATION		
I CERTIFY UNDER PENALTY OF LAW THAT THESE CONSTRUCTION PLANS, THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM AS SHOWN ON THESE CONSTRUCTION PLANS, DESIGNED TO ASSURE THAT APPROPRIATE POLLUTION PREVENTION MEASURES ARE IMPLEMENTED DURING CONSTRUCTION AND TO ASSURE THAT THE QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION. THE INFORMATION SUBMITTED IS TO THE BEST OF MY KNOWLEDGE AND BELIEF TRUE, ACCURATE AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.		
OWNER:		
SIGNED: _____		
NAME AND TITLE: _____		
COMPANY: _____		
ADDRESS: _____		
NAME AND TITLE: _____		
DATE: _____		
CONTRACTOR'S CERTIFICATION		
I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERIC STORM WATER PERMIT ISSUED PURSUANT TO SECTION 403.0085, F.S., THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATE WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.		
SIGNATURE	FOR	RESPONSIBLE FOR
COMPANY:	COMPANY:	
NAME:	NAME:	
TITLE:	TITLE:	
DATE:	DATE:	
COMPANY:	COMPANY:	
NAME:	NAME:	
TITLE:	TITLE:	
DATE:	DATE:	
COMPANY:	COMPANY:	
NAME:	NAME:	
TITLE:	TITLE:	
DATE:	DATE:	

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GREGORY D. WILFONG, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE DIGITAL SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FLAMINGO PLAZA  
PREPARED FOR  
FLAMINGO SUNRISE  
INVESTMENTS, LLC

EROSION CONTROL  
NOTES AND DETAILS

FLORIDA  
CITY OF PLANTATION

Kimley»Horn

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601 21st STREET, SUITE 300, VERO BEACH, FL 32960  
PHONE: 772-562-7981 FAX: 772-562-9669  
WWW.KIMLEY-HORN.COM

2/3/2022

PROFESSIONAL ENGINEER  
GREGORY D. WILFONG  
LICENSE NO. 147219001  
DATE 02/03/22  
SCALE AS SHOWN  
DESIGNED BY GOW  
DRAWN BY RS  
CHECKED BY GOW

NO. \_\_\_\_\_

REVISIONS \_\_\_\_\_

DATE \_\_\_\_\_

BY \_\_\_\_\_

SHEET NUMBER  
C-204

Always call 811 two full business days before you dig to  
have underground utilities located and marked.

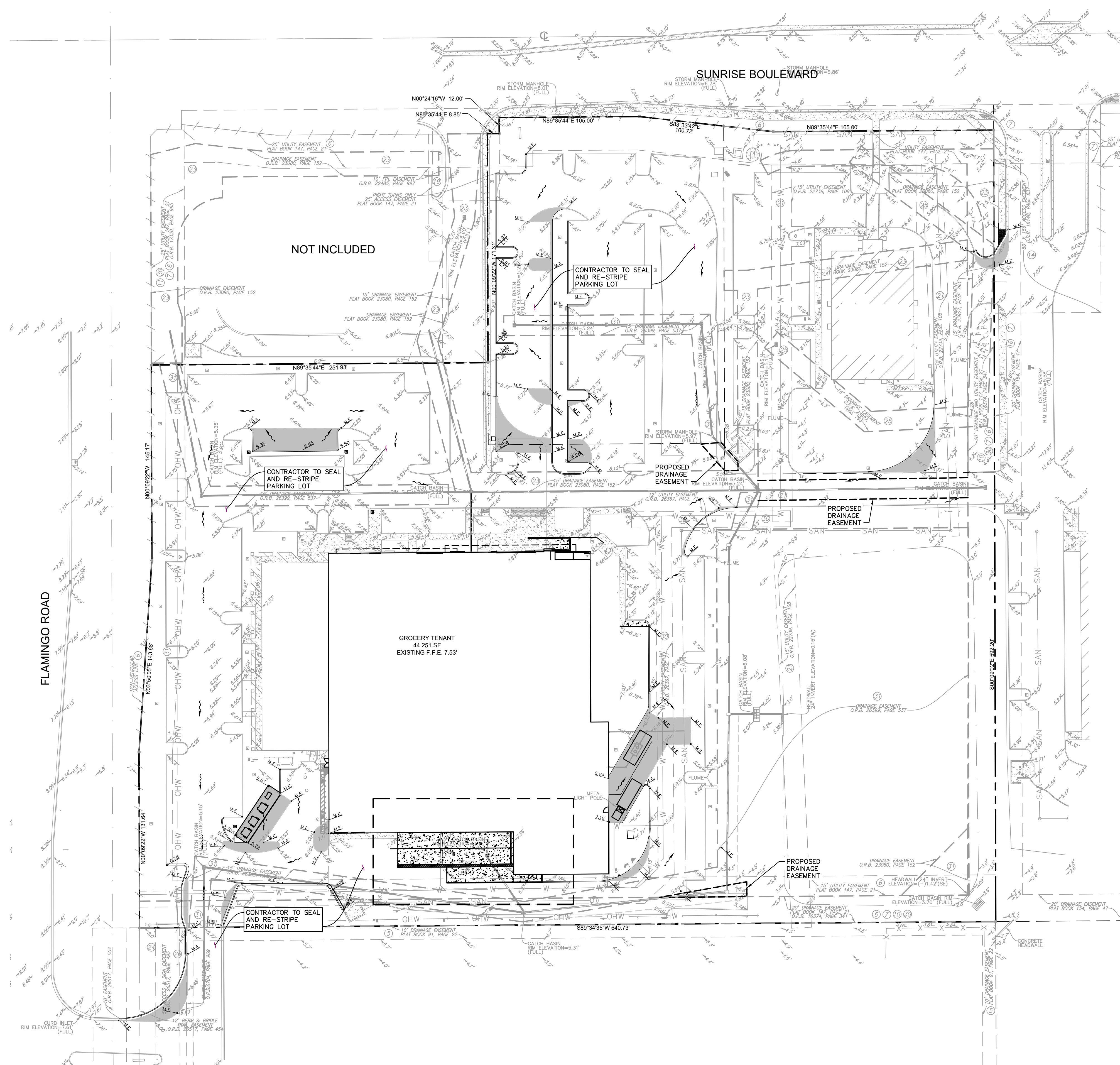
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### LEGEND

- PROPERTY LINE
- CURB
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- EXISTING STORM PIPES
- EXISTING STORM INLET
- MATCH EXISTING PAVEMENT GRADE
- FLOW DIRECTION
- SEE SHEET C-402 PAVEMENT DELINEATION PLAN
- SAWCUT LINE
- EXISTING DRAINAGE EASEMENT
- PROPOSED DRAINAGE EASEMENT

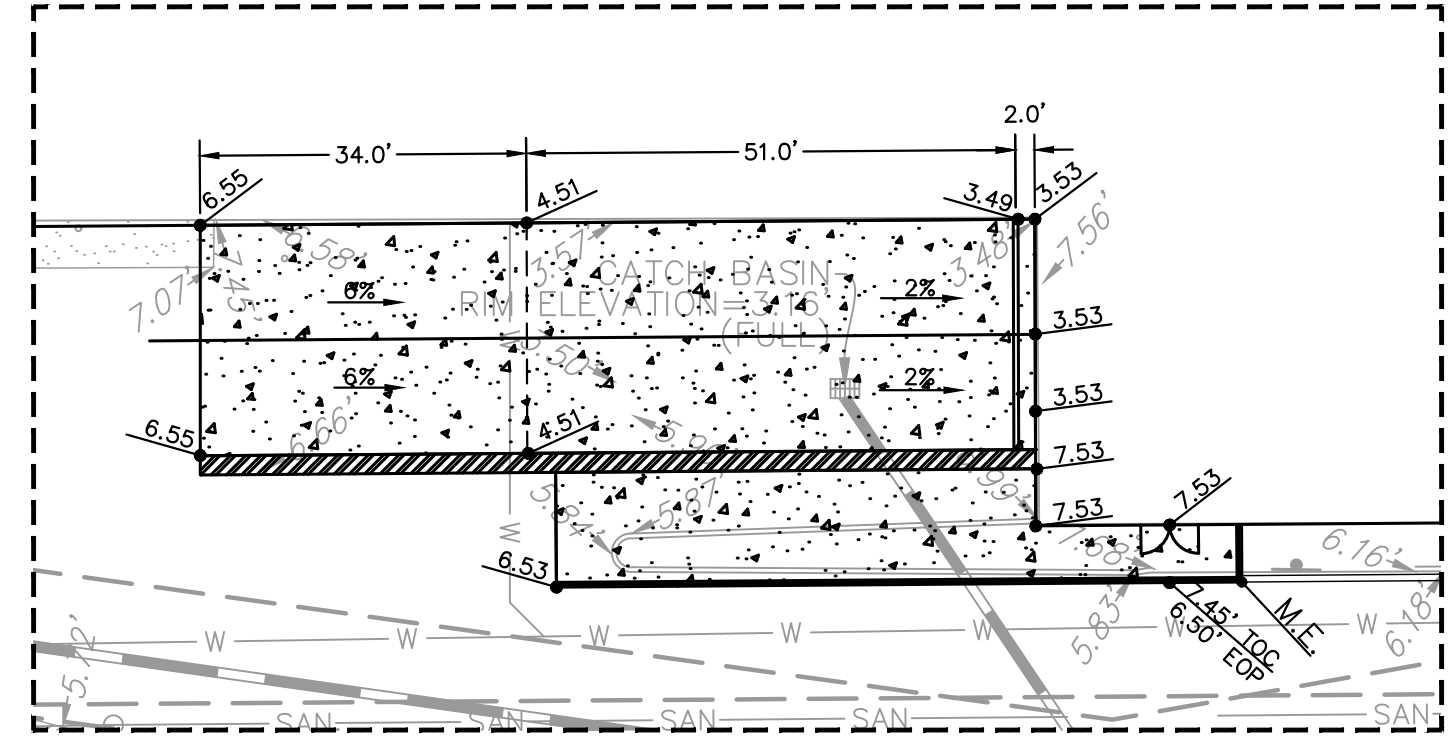
GRAPHIC SCALE IN FEET  
0 20 40 80

NORTH

ONCE THE PROJECT IMPROVEMENTS ARE COMPLETE THE CONTRACTOR SHALL SANDBLAST ALL EXISTING STRIPING EXCEPT FOR THE JAREDS PARCEL AND SEAL COAT (2 COATS) AND RESTRIPE (2 COATS) PER THE CITY REQUIREMENTS. THIS INCLUDES PARKING STALL STRIPES, PAVEMENT MARKINGS, STOP BARS, ETC.

- ### PAVING AND GRADING NOTES
- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
  - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
  - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
  - ALL MATERIALS AND CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST FDOT DESIGN STANDARDS AND LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
  - FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE SPECIFICATIONS AND LOCAL JURISDICTIONAL AGENCY. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
  - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
  - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
  - ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
  - WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW-CUT THE FULL DEPTH OF PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
  - WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW-CUT THE FULL DEPTH OF EXISTING PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
  - ELEVATIONS SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
  - CONTRACTOR SHALL EXCAVATE EXISTING PAVEMENT/SIDEWALK AREAS THAT ARE TO BE LANDSCAPED A MINIMUM OF 30" OR AS DEEP AS NECESSARY TO ENSURE ALL STONE BASE / PAVEMENT MATERIAL IS REMOVED (WHICHEVER IS GREATER) AND BACKFILL WITH CLEAN / DRAINING SAND TO WITHIN 4" OF TOP OF CURB TO ENSURE PROPER SOIL FOR PLANT MATERIALS.
  - THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT OVER-COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
  - ALL CUT OR FILL SLOPES SHALL BE 4H:1V OR FLATTER UNLESS OTHERWISE NOTED.
  - ALL UN-SURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
  - THE CONTRACTOR SHALL PROTECT THE SITE CONDITIONS INDICATED AND SHALL RE-GRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
  - ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929. MIAMI-DADE COUNTY BENCHMARK #P-4029; ELEVATION: 8.93 FEET; AND BENCHMARK RSO-10; ELEVATION: 9.21 FEET.
  - ALL STORM PIPE SHOWN ON THIS PLAN SHALL BE WRAPPED WITH LOCATION WIRE AND TAPE.
  - IT IS RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN QUALIFIED PROFESSIONAL ADVICE WHEN QUESTIONS ARISE CONCERNING DESIGN AND EFFECTIVENESS OF EROSION CONTROL DEVICES. 24 HOUR CONTRACT: GREG WILFONG (772) 794-4119
  - EXTREME CAUTION SHALL BE USED WHEN WORKING WITHIN THE VICINITY OF THE EXISTING OVERHEAD POWER LINES. CONTRACTORS SHALL NOTIFY/COORDINATE WITH POWER COMPANY PRIOR TO CONSTRUCTION.
  - STORM WATER MANAGEMENT SHALL BE IN ACCORDANCE WITH COUNTY, STATE, AND OTHER APPROPRIATE ORDINANCES AND REGULATION IN EFFECT AT TIME OF CONSTRUCTION PLAN APPROVAL.

- ### DRAINAGE NOTES
- CONTRACTOR TO CONSTRUCT DRAINAGE STRUCTURES WITH USF GRATES, RIMS AND COVERS AS CALLED OUT OR APPROVED EQUAL SHOP DRAWINGS ARE TO BE PROVIDED TO ENGINEER FOR APPROVAL PRIOR TO ANY CONSTRUCTION.
  - CONTRACTOR TO REFER TO FDOT DESIGN STANDARD (AND NOT LIMITED TO) INDEX'S 200, 201, 210, 211, 214, 232 & 233 FOR MANHOLE, INLET AND GRATE SPECIFICATIONS.
  - ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED WITH (4) SIDED BEARING HEAVY DUTY H-20 RATED TRAFFIC RIMS AND GRATES.
  - CONTRACTOR TO VERIFY ALL EXISTING UTILITY RINGS AND COVERS ON SITE ARE HEAVY DUTY TRAFFIC RATED. CONTRACTOR TO REPLACE DEFICIENT RINGS AND COVERS WITH HEAVY DUTY TRAFFIC RATED RINGS AND COVERS. CONTRACTOR TO ADJUST RIM ELEVATIONS OF ANY UTILITIES THAT CHANGE IN ELEVATION DURING CONSTRUCTION.
  - ALL CLEAN-OUT COVERS SHOULD BE RATED FOR HEAVY DUTY TRAFFIC.
  - SIDEWALKS AND CROSSWALKS SHALL NOT EXCEED 2% CROSS SLOPE NOR 5% LONGITUDINALLY. GRADES IN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION. IN CASES OF SIDEWALK LANDINGS AT BUILDING ENTRANCES, GRADES SHALL NOT EXCEED 2% IN ANY DIRECTION. ACCESSIBLE CURB RAMP SHALL NOT EXCEED 6" IN LENGTH AND 1:12 SLOPE. LANDINGS AT CHANGES IN DIRECTION SHALL BE MINIMUM 60"x60" AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
  - ROOF DRAIN CONNECTIONS TO DRAINAGE PIPE SHALL BE AS FOLLOWS:  
A. FOR ADS HP CORRUGATED POLYETHYLENE DRAINAGE PIPE USE ADS DUAL WALL FABRICATED REDUCING SADDLE TEE 4"-24" DIAMETER.  
B. FOR RCP DRAINAGE PIPE MAKE CONNECTION PER FDOT INDEX 280 CONCRETE COLLAR FOR JOINING MAINLINE PIPE AND STUB PIPE DETAIL.  
C. NOTIFY CONSULTANT FOR CONNECTION METHOD TO STEEL PIPE.
  - ALL DRAINAGE PIPE JOINTS SHALL BE FILTER FABRIC WRAPPED PER FDOT INDEX #280. ALL DRAINAGE PIPE JOINTS NEED TO BE FILTER FABRIC WRAPPED REGARDLESS OF MATERIAL.
  - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
  - CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE.
  - EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
  - PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
  - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
  - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
  - ALL CATCH BASINS WITHIN PROPOSED TRAFFIC AREAS SHALL HAVE BICYCLE PROOF GRATES.
  - CONTRACTOR TO FLUSH AND VACUUM ENTIRE ON-SITE STORM WATER SYSTEM UPON COMPLETION OF PROPOSED WORK.
  - SOILS EXCAVATED FOR THE DRAINAGE CONSTRUCTION WILL BE TREATED AS CONTAMINATED. THESE SOILS SHALL BE PROPERLY SEGREGATED AND DISPOSED OF AT A PERMITTED LANDFILL.



SCALE: 1"=20'  
Always call 811 two full business days before you dig to have underground utilities located and marked.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GREGORY D. WILFONG, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED.

**Kimley-Horn**

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PHONE: 772-562-7981 FAX: 772-562-9689  
WWW.KIMLEY-HORN.COM CA 00000696

3/14/2022

PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
No. 69166

KHA PROJECT 147219001  
DATE 3/14/22  
SCALE AS SHOWN  
DESIGNED BY DTW  
DRAWN BY SDS  
CHECKED BY FVR

**FLAMINGO PLAZA**  
PREPARED FOR  
**FLAMINGO SUNRISE INVESTMENTS, LLC**  
CITY OF PLANTATION FLORIDA

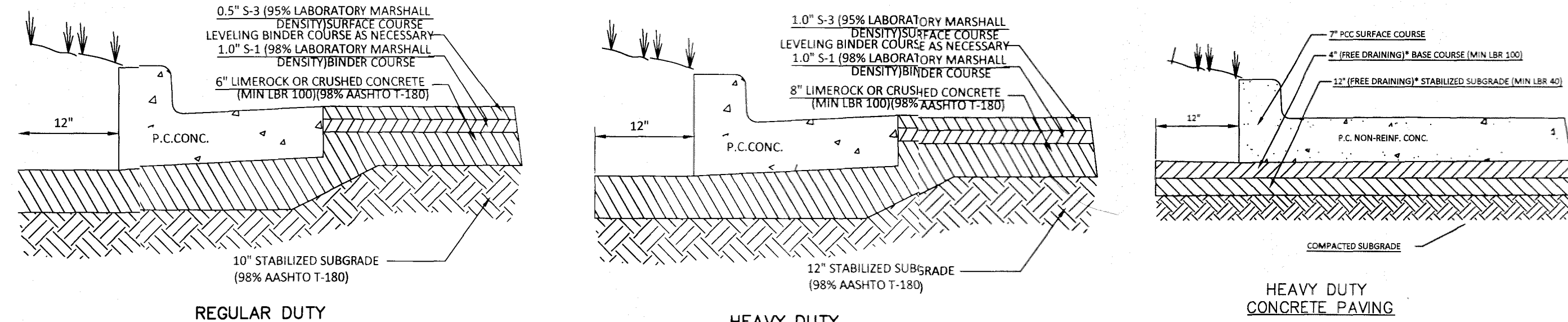
**PAVING GRADING AND DRAINAGE PLAN**

SHEET NUMBER  
**C-400**

REVISIONS  
No. DATE BY

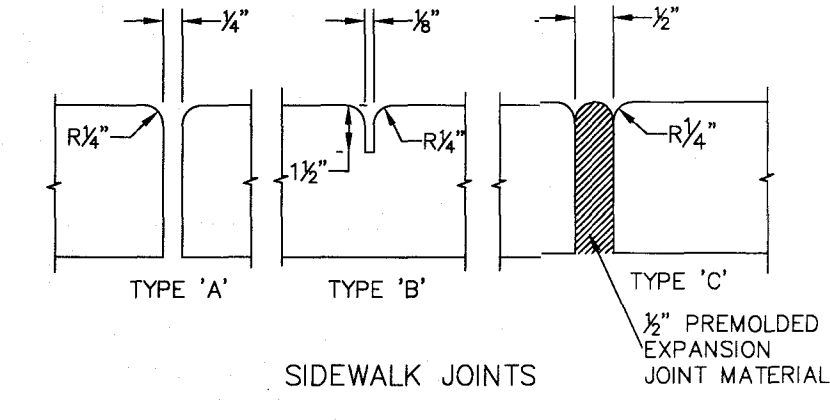
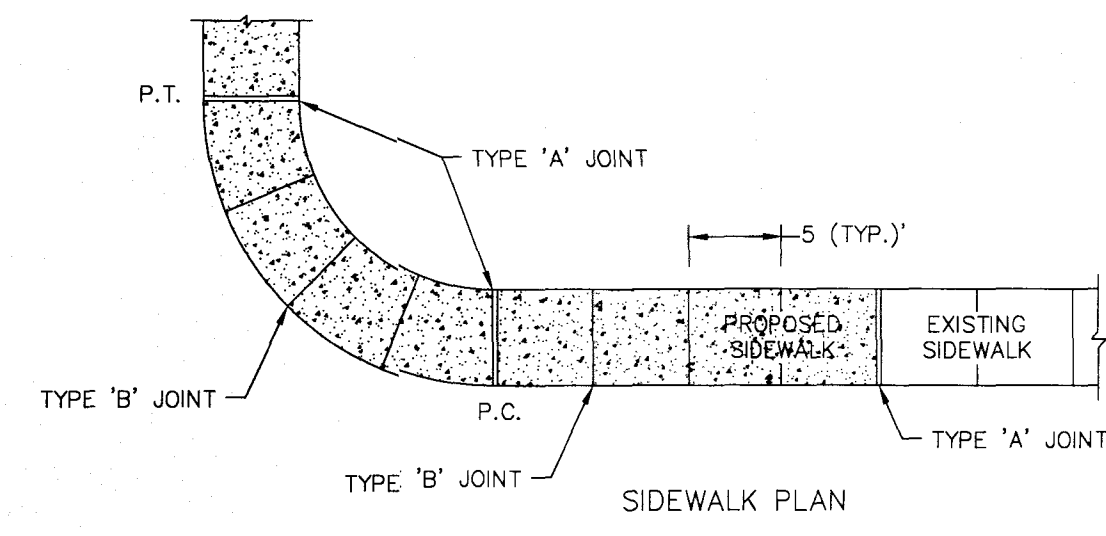


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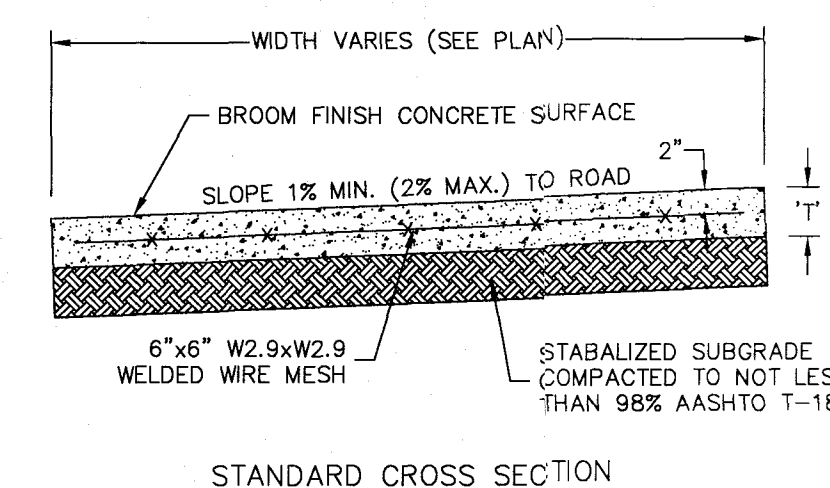


**PAVING DETAILS**  
NTS  
(ON-SITE ONLY)

NOTE:  
• CONTROL JOINTS 6'-12' APART MAXIMUM.  
• UNIFORM SQUARE OR RECTANGLE PATTERN.



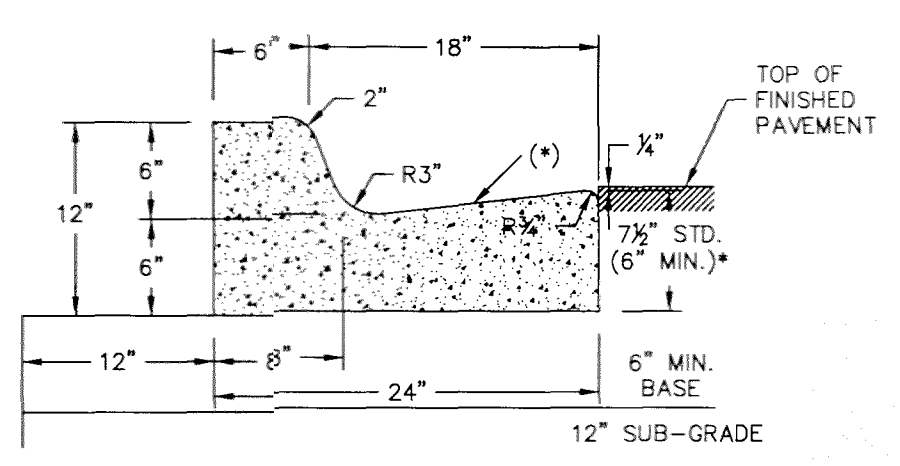
TYPE	LOCATION
'A'	100' MAX. SPACING, P.C./P.T. OF CURVES, JUNCTION OF EXISTING AND NEW SIDEWALKS.
'B'	5'-0" CENTER TO CENTER
'C'	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES.



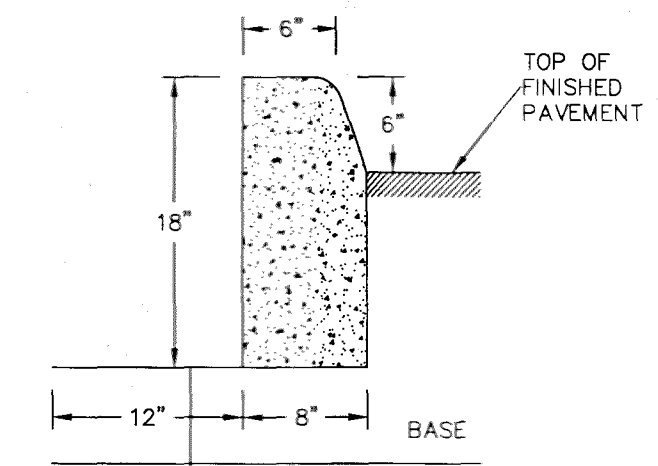
LOCATION	THICKNESS
PEDESTRIAN ONLY AREAS	4"
DRIVEWAYS AND OTHER TRAFFIC AREAS	6"

NOTE:  
ALL SIDEWALK STREET CROSSINGS MUST MEET THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (ADA) COMPLIANCE GUIDE. TRANSITIONS FROM RAMPS TO WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES.

**CONCRETE SIDEWALK**  
NTS



**TYPE "F" CURB AND GUTTER**  
NTS

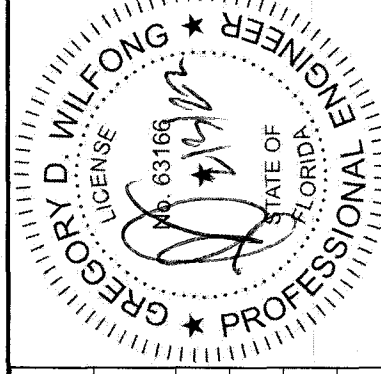


**TYPE "D" CURB**  
NTS

No.	REVISIONS	DATE	BY

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2/3/2022



KHA PROJECT	147219001
DATE	02/03/22
SCALE	AS SHOWN
DESIGNED BY	GDW
DRAWN BY	RS
CHECKED BY	GDW

**PAVING GRADING AND DRAINAGE DETAILS**

**GROCERY STORE**  
PREPARED FOR  
**FLAMINGO SUNRISE INVESTMENTS, LLC**  
CITY OF PLANTATION, FLORIDA

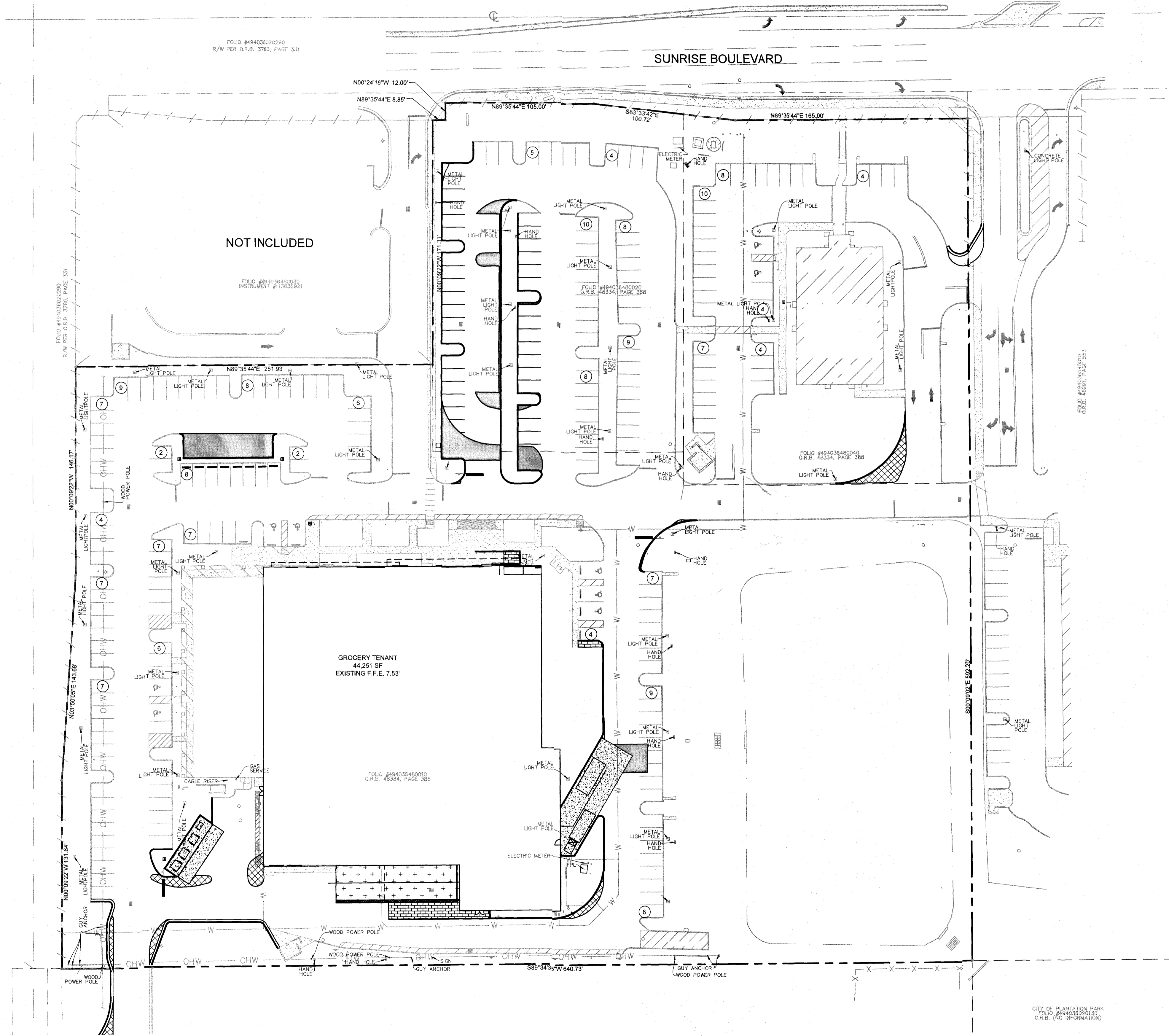
Always call 811 two full business days before you dig to have underground utilities located and marked.  
**Sunshine811.com**



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FLM PROJECT 147219001  
DATE 02/03/22  
SCALE AS SHOWN  
DESIGNED BY GDW  
DRAWN BY RS  
CHECKED BY GDW

FLAMINGO ROAD



FOLIO #484036020290  
R/W PER O.R.B. 3760, PAGE 331

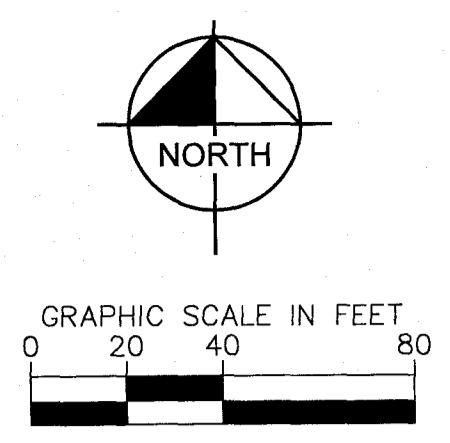
FOLIO #484034480030  
INSTRUMENT #113936321





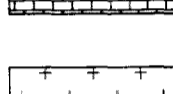
FOLIO #484035480010  
O.R.B. #5334, PAGE 388

FOLIO #484036480020  
O.R.B. #4834, PAGE 388

FOLIO #484036480040  
O.R.B. #4834, PAGE 388

CITY OF PLANTATION PARK  
FOLIO #484036020290  
O.R.B. (NO INFORMATION)




-  STANDARD DUTY ASPHALT (SEE SHEET C-401)
-  HEAVY DUTY ASPHALT (SEE SHEET C-401)
-  HEAVY DUTY CONCRETE (SEE SHEET C-401)
-  SIDEWALK (SEE SHEET C-401)
-  TRUCK LOADING PAD (SEE ARCHITECTURAL/STRUCTURAL PLANS)

ONCE THE PROJECT IMPROVEMENTS ARE COMPLETE THE CONTRACTOR SHALL SANDBLAST ALL EXISTING STRIPING EXCEPT FOR THE JAREDS PARCEL AND SEAL COAT (2 COATS) AND RESTRIPE (2 COATS) PER THE CITY REQUIREMENTS. THIS INCLUDES PARKING STALL STRIPES, PAVEMENT MARKINGS, STOP BARS, ETC.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GREGORY D. WILFONG, P.E., ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE DIGITAL SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.


NO.	REVISIONS	DATE	BY

**Kimley»Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
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 WWW.KIMLEY-HORN.COM CA 00000696

2/3/2022  
  
 GREGORY D. WILFONG  
 PROFESSIONAL ENGINEER  
 STATE OF FLORIDA  
 LICENSE #83166

**PAVEMENT  
 DELINEATION PLAN**

FLAMINGO PLAZA  
 PREPARED FOR  
 FLAMINGO SUNRISE  
 INVESTMENTS, LLC  
 FLORIDA  
 CITY OF PLANTATION

Always call 811 two full business days before you dig to have underground utilities located and marked.  




PLANTATION ACRES IMPROVEMENT DISTRICT PERMIT

TYPE OF PERMIT: [x] Construction Modification of existing Permit # \_\_\_\_\_ [ ] Extension of existing Permit # \_\_\_\_\_

PROJECT TITLE: FLAMINGO PLAZA

STREET ADDRESS: 12300 W. SUNRISE BOULEVARD, PLANTATION, FL, 33323

LOCATION: Tract(s) \_\_\_\_\_ 1/4 Section 36 Township 49 Range 40 E
Plat Book \_\_\_\_\_ Page \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_

PURPOSE COMMERCIAL (residential, agricultural, commercial, etc.)

PROJECT SIZE: This phase: 7.68 acres Total: 7.68 acres

DESCRIPTION OF WORK TO BE PERMITTED NEW GROCERY TENANT IN PRIOR TENANT SPACE. MINOR SITE IMPROVEMENTS

NUMBER OF DWELLING UNITS \_\_\_\_\_ OR SQUARE FEET OF COMMERCIAL AREA 1.318 ACRES

DATE CONSTRUCTION OR ALTERATION IS EXPECTED TO START JULY 2022

RECEIVING CANAL FOR PROJECT DRAINAGE C-5B CANAL

PROPERTY OWNER: FLAMINGO PLAZA SUNSHINE INVESTMENTS, LLC (ALBERTO MICHA BUZALI)

ADDRESS 336 E. DANIA BEACH BOULEVARD

CITY DANIA STATE FL ZIP 33004 PHONE 954-505-5501

EMAIL NCLAVERO@DACAR.US

DEVELOPER: SAME AS ABOVE

ADDRESS: \_\_\_\_\_

CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_ PHONE \_\_\_\_\_

EMAIL \_\_\_\_\_

PROJECT ENGINEER: GREGORY DOUGLAS WILFONG

ADDRESS: 445 24TH STREET, SUITE 200

CITY VERO BEACH STATE FL ZIP 32960 PHONE 772-794-4119

EMAIL GREG.WILFONG@KIMLEY-HORN.COM

AS THE PERMITTEE AND/OR OWNER OF THE PROPOSAL SET FORTH ABOVE, I DO UNDERSTAND AND AGREE THAT:

- 1. The use of or construction will be in accordance with the details of the approved drawing(s) supporting this permit...
2. The PLANTATION ACRES IMPROVEMENT DISTRICT will be notified...
3. Erosion, shoaling or deleterious discharges due to permitted actions will be corrected promptly...
4. The area under permit will be maintained in a safe condition...
5. No beautification or erection of any structure or vegetation that will prohibit or limit the access...
6. As Permittee, will hold and save the PLANTATION ACRES IMPROVEMENT DISTRICT and its successors harmless...
7. This permit does not convey any property rights nor any rights or privileges other than those specified herein...
8. This permit is in effect for one year with an additional 60 day grace period. An extension must be requested...
9. To abide by the terms and conditions of the permit.

SIGNED \_\_\_\_\_ Owner's Signature (if not the owner, certify below)

DATE 1/28/2022

I HEREBY CERTIFY THAT I AM AN AUTHORIZED AGENT OF THE OWNER: (Attach Letter of Authorization from Owner)

\_\_\_\_\_ TITLE \_\_\_\_\_

STATE OF FLORIDA
COUNTY OF Broward

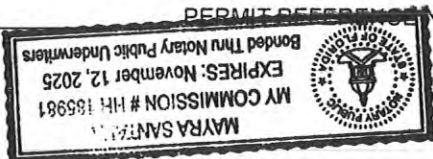
Before me personally appeared Alberto Mich Buzali as President of Flamingo Sunrise Investments LLC
to be known to be the person(s) described in or who has produced \_\_\_\_\_ as identification and who executed the
foregoing instrument and acknowledged before me that Alberto Mich Buzali executed said instrument for the purpose expressed.

WITNESS my hand and official seal this 28th day of January, 2022

My Commission Expires: \_\_\_\_\_ NOTARY PUBLIC \_\_\_\_\_ Type, Print or Stamp Name

This permit does not become valid until signed by the Chairman of the PLANTATION ACRES IMPROVEMENT DISTRICT. This permit will expire one year, to the day, from the date signed by the Chairman.

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_ PERMIT REFERENCE NUMBER C2111.01





**ENGINEER'S STAFF REPORT**  
FOR March 24, 2022 MEETING  
**AGENDA ITEM No.: D1**

**Action Required:** Status Update

**Item Description:** Pump Station Number 3 Rehabilitation

---

**PAID Number:** D1707.01-3

---

**Attachments:** None

---

**Summary:**

1. Contractor has provided all of the required shop drawings, which have been reviewed and approved.
2. The Contractor has informed us that the previous construction start date of March 14<sup>th</sup> 2022, has been delayed due to an international material shortage of large diameter ductile iron pipe. A new start date is anticipated to be at the end of May or beginning of June.

---

Prepared by: BMP Date: 3/14/2022

2022-03-24 20-PAID Pump No 3 Staff Report.wpd



**ENGINEER'S STAFF REPORT**  
FOR March 24, 2022 MEETING  
**AGENDA ITEM No.: D2**

**Action Required:** Update

**Item Description:** 20-YR Needs Analysis

---

**PAID Number:** D2109.01

---

**Attachments:** None

---

**Summary:** Our office is currently preparing this item and will be submitting the above mentioned stormwater analysis on behalf of PAID to Broward County by June 30th, 2022.

---

**Comments:** \_\_\_\_\_

Prepared by: BMP Date: 3/14/2022



**ENGINEER'S STAFF REPORT**  
FOR March 24, 2022 MEETING  
**AGENDA ITEM No.: D3**

**Action Required:** Board Discussion

**Item Description:** FP&L Poles & Guy Wires  
Swale Obstruction Evaluation

---

**PAID Number:** D2201.01

---

**Attachments:** None

---

**Summary:** This item has been placed on the Agenda for discussion.

---

**Recommendation:** N/A

**Comments:** \_\_\_\_\_

Prepared by: BMP Date: 3/14/2022



**ENGINEER'S STAFF REPORT**  
FOR March 24, 2022 MEETING  
**AGENDA ITEM No.: D4**

**Action Required:** Board Discussion

**Item Description:** PAID Participation with the City of Plantation  
Funding for Improvements

**PAID Number:** D2201.01

---

**Attachments:** None

---

**Summary:** This item has been placed on the Agenda for discussion.

---

**Recommendation:** N/A

**Comments:** \_\_\_\_\_

Prepared by: BMP Date: 3/14/2022



**ENGINEER'S STAFF REPORT**  
FOR March 24, 2022 MEETING  
**AGENDA ITEM No.: D5**

**Action Required:** Discussion

**Item Description:** Permit Activity Summary

---

**P.A.I.D. Number:** D9408.02 & D9408.03

---

**Attachments:** None

---

**Summary:** Approved Building Permits

<u>No.</u>	<u>Name</u>	<u>Address</u>	<u>PAID No.</u>
1.	Loriga (Pool)	11310 NW 28 <sup>th</sup> Court	B2101.01
2.	Gonzalez (House)	1200 NW 114 <sup>th</sup> Avenue	B2106.01
3.	Dubreuze (House)	12280 NW 23 <sup>rd</sup> Street	B1310.01
4.	Hessing (Pool)	11821 NW 27 <sup>th</sup> Court	B1802.02
5.	Bohl (Fence/Driveway)	11800 NW 5 <sup>th</sup> Street	B0611.01
6.	Blocker (House)	12350 NW 4 <sup>th</sup> Street	B2201.01
7.	Meneses (Fence)	11630 NW 25 <sup>th</sup> Street	B9206.12
8.	Waserman (Driveway)	11421 NW 27 <sup>th</sup> Court	B1804.02
9.	Ferrus (House)	11301 N Mount Vernon Drive	B0606.05

**Summary:** Approved Certificates of Occupancy

1.	Rhino Homes LLC (House)	12351 NW 5 <sup>th</sup> Street	B1507.01
----	-------------------------	---------------------------------	----------

---

Prepared by: HMS Date: 03/10/2022

**ENGINEER'S STAFF REPORT**  
FOR March 24, 2022 MEETING  
**AGENDA ITEM No.: D6**

**Action Required:** Discussion

**Item Description:** Notices of Violation  
Summary

**P.A.I.D. Number:** D9611.01

---

**Attachments:** None

---

**Summary:** The following is a summary of the existing violations.

<b>Name</b>	<b>Address</b>	<b>Violation</b>	<b>Status</b>
ROBLES	11600 NW 21 <sup>ST</sup> STREET	CONSTRUCTION W/O PERMIT	IN PROCESS OF COMPLYING
ARTEAGA	12101 NW 27 <sup>TH</sup> COURT	CLEARING W/O PERMIT	IN PROCESS OF NOTIFYING

---

Prepared by: HMS Date: 03/15/2022

J:\PAID\Projects (D)\1996\D9611.01-Violation Summary\WP\2022-03-24 D6. Nov Activity.wpd