



# Plantation Acres Improvement District

## Broward County Florida

1701 NW 112<sup>th</sup> Avenue, Plantation, FL 33323

**AGENDA**  
**July 22, 2021**

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Call to Order 7:00 P.M.

Pledge of Allegiance

Invocation

Roll Call

Approval of Attendance of Commissioners by Social Media or Telephone

Approval of Minutes

Public Comment

Staff Reports

I. Administrator's Report

II. Attorney's Report  
None

III. Engineer's Report

A. CONSENT ITEMS

A1. Maleh Estates Paving & Drainage Plan (C0608.01) . . . . . Permit Renewal

B. QUASI-JUDICIAL ITEMS

The items in this section are quasi-judicial in nature. If you wish to object or comment upon any of these items, you must be sworn before addressing the Board of Commissioners, and if you wish to address the Board, you may be subject to cross-examination. If you refuse to submit to cross-examination, the Board of Commissioners will not consider what you have said in its final deliberations.

B1. Reflections In The Acres (P2007.01) . . . . . Plat Approval

B2. Reflections In The Acres (C2007.01) . . . . . Paving & Drainage Plan Approval

C. BOARD ACTION ITEMS

None

D. DISCUSSION ITEMS

D1. Pump Stations Improvements (D1707.01) . . . . . Update

D2. Permit Activity (D9408.02 & D9408.03) . . . . . Summary

D3. Violation Activity (D9611.01) . . . . . Summary

IV. District Manager's Agenda

Old Business

New Business

Adjournment

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Notice is hereby given to all interested parties that if any person should decide to appeal any decision made at the forthcoming meeting of the Board of Commissioners, such person will need a record of the proceedings conducted at such meeting, and for such purpose he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which any appeal may be based.

**ENGINEER'S STAFF REPORT**  
FOR July 22, 2021 MEETING  
**AGENDA ITEM No.: A1**

**Action Required:** Consent Agenda

**Item Description:** Maleh Estates  
Permit Extension

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**P.A.I.D. Number:** C0608.01

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**Attachments:** Permit Application

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**Summary:** This item is for the approval of an extension of the original permit for the paving, grading and drainage plan serving the 8 single family lots at the northeast corner of Sunrise Boulevard and 118<sup>th</sup> Avenue. The project is still under construction and there are no changes to the original plans approved by the Board. All outstanding fees have been paid.

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**Recommendation:** APPROVE

Prepared by: CJF Date: 7/15/2021

**PLANTATION ACRES IMPROVEMENT DISTRICT PERMIT**

TYPE OF PERMIT:  Construction  Modification of existing Permit # \_\_\_\_\_  Extension of existing Permit # C0608.01

PROJECT TITLE: MALEH ESTATES

STREET ADDRESS: 11780 NW 17 PLACE

LOCATION: Tract(s) \_\_\_\_\_ 1/4 Section 25 Township 49 Range 40  
 Plat Book 179 Page 1 Block \_\_\_\_\_ Lot 1 THRU 8

PURPOSE 8 New SINGLE FAMILY HOUSE (residential) agricultural, commercial, etc.)

PROJECT SIZE: This phase: 7.81 acres Total: 7.81 acres

DESCRIPTION OF WORK TO BE PERMITTED CONSTRUCTION OF ROAD & DRAINAGE AS PER PLAN.

NUMBER OF DWELLING UNITS 8 OR SQUARE FEET OF COMMERCIAL AREA N/A

DATE CONSTRUCTION OR ALTERATION IS EXPECTED TO START 2021

RECEIVING CANAL FOR PROJECT DRAINAGE C-5A

PROPERTY OWNER: Lowima properties

ADDRESS 3998 NW 73rd way Coral Springs

CITY Coral Springs STATE Florida ZIP 33065 PHONE 9544788495

EMAIL Ronlowima@gmail.com

DEVELOPER: Lowima properties

ADDRESS: 3998 NW 73rd way

CITY Coral Springs STATE FL ZIP 33065 PHONE 954-478-8495

EMAIL \_\_\_\_\_

PROJECT ENGINEER: Ghasem Khavanin P.E.

ADDRESS: 13420 SW 36 Ct.

CITY DAVE STATE FL ZIP 33330 PHONE 954-224-1380

EMAIL gus.kha@hotmail.com

**AS THE PERMITTEE AND/OR OWNER OF THE PROPOSAL SET FORTH ABOVE, I DO UNDERSTAND AND AGREE THAT:**

1. The use of or construction will be in accordance with the details of the approved drawing(s) supporting this permit; and if any changes are required, same will be cleared with the PLANTATION ACRES IMPROVEMENT DISTRICT in writing prior to initiating.
2. The PLANTATION ACRES IMPROVEMENT DISTRICT will be notified, as required to coordinate and schedule inspections.
3. Erosion, shoaling or deleterious discharges due to permitted actions will be corrected promptly at no expense to the PLANTATION ACRES IMPROVEMENT DISTRICT.
4. The area under permit will be maintained in a safe condition at all times or equipment will be promptly removed from the right of way of easement and that the right of way or easement will be restored to its original or better condition within a reasonable time on termination of the authorized use.
5. No beautification or erection of any structure or vegetation that will prohibit or limit the access of PLANTATION ACRES IMPROVEMENT DISTRICT equipment or vehicles in the right of way or easements will be permitted.
6. As Permittee, will hold and save the PLANTATION ACRES IMPROVEMENT DISTRICT and its successors harmless from any and all damages, claims or liabilities which may arise by reason of the construction, operation, maintenance or use of the work or structure involved in the permit.
7. This permit does not convey any property rights nor any rights or privileges other than those specified herein, nor relieve from complying with any law, regulation or requirement affecting the rights of other bodies or agencies.
8. This permit is in effect for one year, with an additional 60 day grace period. An extension must be requested if work is not completed during permit period.
9. To abide by the terms and conditions of the permit.

SIGNED \_\_\_\_\_  
 Owner's Signature (if not the owner, certify below)

DATE 7/4/2021

I HEREBY CERTIFY THAT I AM AN AUTHORIZED AGENT OF THE OWNER: (Attach Letter of Authorization from Owner)

\_\_\_\_\_ TITLE \_\_\_\_\_

STATE OF FLORIDA  
 COUNTY OF \_\_\_\_\_

Before me personally appeared Monell Lowima as President of Lowima Properties to be known to be the person(s) described in or who has produced D.L. as identification and who executed the foregoing instrument and acknowledged before me that Monell Lowima executed said instrument for the purpose expressed.

WITNESS my hand and official seal this 6<sup>th</sup> day of July, 2021.

My Commission Expires: May 31<sup>st</sup> 2024  
 NOTARY PUBLIC

Aby Bain  
 Type, Print or Stamp Name



This permit does not become valid until signed by the Chairman of the PLANTATION ACRES IMPROVEMENT DISTRICT. This permit will expire one year, to the day, from the date signed by the Chairman.

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_ PERMIT REFERENCE NUMBER C0608.01

**ENGINEER'S STAFF REPORT**  
FOR July 22, 2021 MEETING  
**AGENDA ITEM No.: B1**

**Action Required:** Board Approval (Quasi-Judicial)

**Item Description:** Reflections in the Acres  
Plat

**P.A.I.D. Number:** P2007.01

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**Attachments:** Plat (Revised)  
Plat Application Information

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**Summary:** This item is for the subdivision of 37 residential lots located at the SW corner of NW 112<sup>th</sup> Avenue and 4<sup>th</sup> Street.

The Board approved this Plat on October 22, 2020. STKR Old Hiatus, LLC has now revised the development site plan and associated Plat to reduce the number of lots from 42 to 37. The reduction in lots are along NW 4<sup>th</sup> Street where the original site plan showed ten (10) lots abutting that right-of-way. The revised site plan and associated Paving and Drainage Plans now show five (5) wider lots abutting NW 4<sup>th</sup> Street including an increased common area buffer from 37 feet to 100 feet wide between the westernmost lot (Lot #9) adjacent to NW 4<sup>th</sup> Street and the adjoining property located at 11400 NW 4<sup>th</sup> Street. All other areas within the Plat remain unchanged and match the plat approved by the Board on October 22, 2020.

The plat meets the criteria of the District.

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**Recommendation:** APPROVE

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**Comments:** If not already signed, the Chairman may sign the plat following approval if the Owner's and Surveyor's signature are present on the original.

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Prepared by: WTV Date: 07/15/2021

# REFLECTIONS IN THE ACRES

A REPLAT OF NOOR PLANTATION (PB 176, PG 97, BCR) AND THE VACATED RIGHT-OF-WAY OF NW 2ND STREET, IN SECTION 1, TOWNSHIP 50 SOUTH, RANGE 40 EAST, CITY OF PLANTATION, BROWARD COUNTY, FLORIDA.

**LEGAL DESCRIPTION:**

Lots 1 through 11 of NOOR PLANTATION, as recorded in Plat Book 176, Page 97 of the Public Records of Broward County, Florida TOGETHER WITH the Right-of-Way of NW 2nd Street, lying South of and adjacent to the South line of said NOOR PLANTATION.

Said lands situate, lying and being in the City of Plantation, Broward County, Florida, containing 529,087 square feet (12.15 acres) more or less.

**DEDICATION:**

Know all men by these presents that STKR OLD HIATUS, LLC, a Florida limited liability company, owner of the lands shown and described hereon, has caused said lands to be surveyed, subdivided and platted in the manner as shown hereon, said plat to be known as "REFLECTIONS IN THE ACRES, a replat, and owner does hereby dedicate all rights-of-way and drainage easements to the public, said drainage easements shown hereon to be subject to the jurisdiction of the Plantation Acres Improvement District, a Florida Public Corporation.

Parcels A, D and E are hereby dedicated to the Reflections in the Acres Homeowners Association for drainage purposes and for purposes of ingress/egress for operation and maintenance of drainage easements. Operation and maintenance by P.A.I.D. shall not be obligatory.

Parcel B is dedicated to the Reflections in the Acres Homeowners Association for ingress, egress, utilities and drainage purposes and purposes of ingress/egress for operation and maintenance of the drainage easements. Operation and maintenance by P.A.I.D. shall not be obligatory.

Parcel C is dedicated to the Reflections in the Acres Homeowners Association as a Landscape buffer and open space.

Drainage Easements are hereby dedicated to the Reflections in the Acres Homeowners Association for the purposes of the installation, operation and maintenance of stormwater drainage system and for the conveyance and storage of storm water and for drainage purposes and for purposes of ingress/egress for operation and maintenance of the drainage easements. Operation and maintenance by P.A.I.D. shall not be obligatory.

Plantation Acres Improvement District Drainage Easements shown hereon are hereby dedicated to the Plantation Acres Improvement District for drainage purposes and for purposes of ingress/egress for operation and maintenance by P.A.I.D shall not be obligatory.

All Utility Easements shown hereon are hereby dedicated to the public for proper purposes.

All Access Easements shown hereon are hereby dedicated to the Reflections in Acres Homeowners Association for common use and to the public for governmental services.

IN WITNESS WHEREOF, Jeffrey Kronengold as Manager of STKR OLD HIATUS, LLC, a Florida limited liability company, set his hand and seal this 13<sup>th</sup> day of October, 2020.

STKR OLD HIATUS, LLC, a Florida limited liability company

Witness  
Print name: Carrie Kronengold

Witness  
Print name: Francis D'Monico

**ACKNOWLEDGEMENT:** STATE OF FLORIDA COUNTY OF BROWARD S.S.

The foregoing dedication was acknowledged before me by means of physical presence or online notarization, this 13<sup>th</sup> day of October, 2020, by Jeffrey Kronengold, as Manager of STKR OLD HIATUS, LLC, a Florida limited liability company, on behalf of the company, who is personally known to me or has produced (type of identification) as identification.

Dawn Lenari  
Notary Public

My commission expires:



**MORTGAGE DEDICATION:**

City National Bank of Florida, holder of that certain mortgage, assignment of rents and security agreement recorded December 20, 2019, in Instrument Number 116249228 of the Public Records of Broward County, Florida, holder of that certain Collateral Assignment of Contract and License Rights recorded on December 20, 2019, in Instrument Number 116249229 of the Public Records of Broward County, Florida, and that certain UCC-1 Financing Statement recorded on December 20, 2019, in Instrument Number 116249230 of the Public Records of Broward County, Florida, does hereby join in and consent to the plat of REFLECTIONS IN THE ACRES, and the dedications thereon; provided, that nothing hereon shall be deemed to constitute a waiver of any rights reserved or granted to the Mortgagee (or similarly situated parties) in said instruments.

CITY NATIONAL BANK OF FLORIDA

Witness: Frank D'Monico

Print name: Frank D'Monico

Address: 701 SW 11 Street

Coconut Creek, Florida 33426

By: DAVID ALBRIGHT Its SVP whose

address is: 1120 S Federal Hwy

Delray Beach, FL 33483

Witness: Reina Orlans

Print name: Reina Orlans

Address: 201 SE 12<sup>th</sup> St.

Ste 100

Fort Lauderdale, FL 33316

**MORTGAGEE ACKNOWLEDGEMENT:**

STATE OF Florida COUNTY OF Broward S.S.  
The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 13<sup>th</sup> day of October, 2020, by David Albright, as Senior Vice President of City National Bank of Florida, on behalf of the company, who is personally known to me or has produced (type of identification) as identification.

Dawn Lenari  
Notary Public

My commission expires:



**PLANTATION ACRES IMPROVEMENT DISTRICT:**

This plat is hereby approved for record by the Plantation Acres Improvement District, a Florida public corporation.

By: \_\_\_\_\_ Date \_\_\_\_\_  
Chairperson

**CITY REVIEW COMMITTEE:**

This is to certify that the City Review Committee of the City of Plantation, Florida, has approved and accepted this Plat for record this \_\_\_\_ day of \_\_\_\_ 20\_\_\_\_.

By: \_\_\_\_\_ Date \_\_\_\_\_  
Chairperson

**CITY ENGINEER'S APPROVAL:**

This plat has been approved and accepted for record this \_\_\_\_ day of \_\_\_\_ 20\_\_\_\_.

By: Brett Butler, City Engineer  
Florida Professional Engineer  
Registration No. 54653

**CITY COUNCIL:**

This is to certify that this Plat was approved and accepted by the City of Plantation, Florida, by resolution duly adopted by said City Council this \_\_\_\_ day of \_\_\_\_ 20\_\_\_\_. Resolution No. \_\_\_\_\_

No building permits shall be issued for the construction, expansion and/or conversion of a building within this plat until such time as the developer provides this municipality with written confirmation from Broward County that all applicable concurrency/impact fees have been paid or are not due.

By: \_\_\_\_\_ Date \_\_\_\_\_  
Mayor

Attest: \_\_\_\_\_ Date \_\_\_\_\_  
City Clerk

**BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT COUNTY RECORDS DIVISION-MINUTES SECTION:**

This is to certify that this plat complies with the provisions of Chapter 177, Florida Statutes, and was accepted for record this \_\_\_\_ day of \_\_\_\_ 20\_\_\_\_.

By: \_\_\_\_\_ Date \_\_\_\_\_  
Mayor - County Commission

**BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION:**

This plat has been reviewed for conformity with Chapter 177, Part 1, Florida Statutes, and is approved and accepted for record.

By: Alejandro S. Perez Date \_\_\_\_\_  
Acting County Engineer  
Florida Professional Engineer  
Florida Registration Number 33217

By: Robert P. Legg, Jr. Date \_\_\_\_\_  
Professional Survey and Mapper  
Florida Registration LS #4030

**BROWARD COUNTY PLANNING COUNCIL:**

This is to certify that the Broward County Planning Council approved this plat subject to its compliance with the dedication of Rights-of-Way for traffic ways this \_\_\_\_ day of \_\_\_\_ 20\_\_\_\_.

By: \_\_\_\_\_ Date \_\_\_\_\_  
Chairperson

This plat complies with the approval of the Broward County Planning Council of the above date and is approved and accepted for record this \_\_\_\_ day of \_\_\_\_ 20\_\_\_\_.

By: \_\_\_\_\_ Date \_\_\_\_\_  
Director or Designee

**BROWARD COUNTY ENVIRONMENTAL PROTECTION AND GROWTH MANAGEMENT DEPARTMENT:**

This plat is hereby approved and accepted for record.

By: \_\_\_\_\_ Date \_\_\_\_\_  
Director/Designee

**SURVEYORS CERTIFICATE:**

I hereby certify: That the attached plat is a true and correct representation of the lands recently surveyed, subdivided and platted under my responsible direction and supervision. That the survey data complies with the applicable requirements of Chapter 177, Florida Statutes, and with the applicable section of Chapter 5J-17.051, Florida Administrative Code. And further that the Permanent Reference Monuments (PRM's) were set this 10<sup>th</sup> of September, 2020, in accordance with Section 177.091 of said Chapter 177.

Dated this 13<sup>th</sup> of October, 2020, in Broward County, Florida.

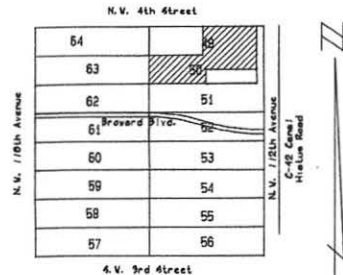
Mikki H. Ulrich  
Mikki H. Ulrich  
Professional Survey and Mapper  
LS #5853  
State of Florida

City Engineer's 5661	City of Plantation 5661	County Surveyor's 5661	Surveyor's 5661
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Prepared By:  
**DENI LAND SURVEYORS, INC.**  
1991 N. W. 35TH AVENUE, COCONUT CREEK, FLORIDA 33066 LB #7281  
PHONE (954)973-7966 FAX (954)979-0343

# REFLECTIONS IN THE ACRES

A REPLAT OF NOOR PLANTATION (PB 176, PG 97, BCR) AND THE VACATED RIGHT-OF-WAY OF NW 2ND STREET, IN SECTION 1, TOWNSHIP 50 SOUTH, RANGE 40 EAST, CITY OF PLANTATION, BROWARD COUNTY, FLORIDA.



**NOTES:**

- PRM indicates Permanent Reference Monument (6" round, 24" long concrete monument with aluminum disk stamped Deni Land Surveyors, P. R. M. LB 7291)
- State Plane Coordinates and grid bearings shown herein are relative to the National Geodetic Transverse Mercator Coordinates, Florida East Zone, grid North as shown on the "STONE/KEITH RESURVEY NO. 11, as recorded in Misc. Map Book 4, page 21 of the Public Records of Broward County, Florida, as transformed to the North American Datum of 1983 with the 1980 adjustment. The bearing reference line is the Easterly line of Lot 2, VILLANUEVA PLAT (PB 173, PG 17, BCR), said line bears North 00°09'41" West.

N 000000.000  
E 000000.000 indicates State Plane Coordinates.

3. NOTICE: This plat, as recorded in its graphic form, is the official depiction of the subdivided lands described herein and will in no circumstances be supanted in authority by any other graphic or digital form of the plat. There may be additional restrictions that are not recorded on this plat that may be found in the public records of this County.

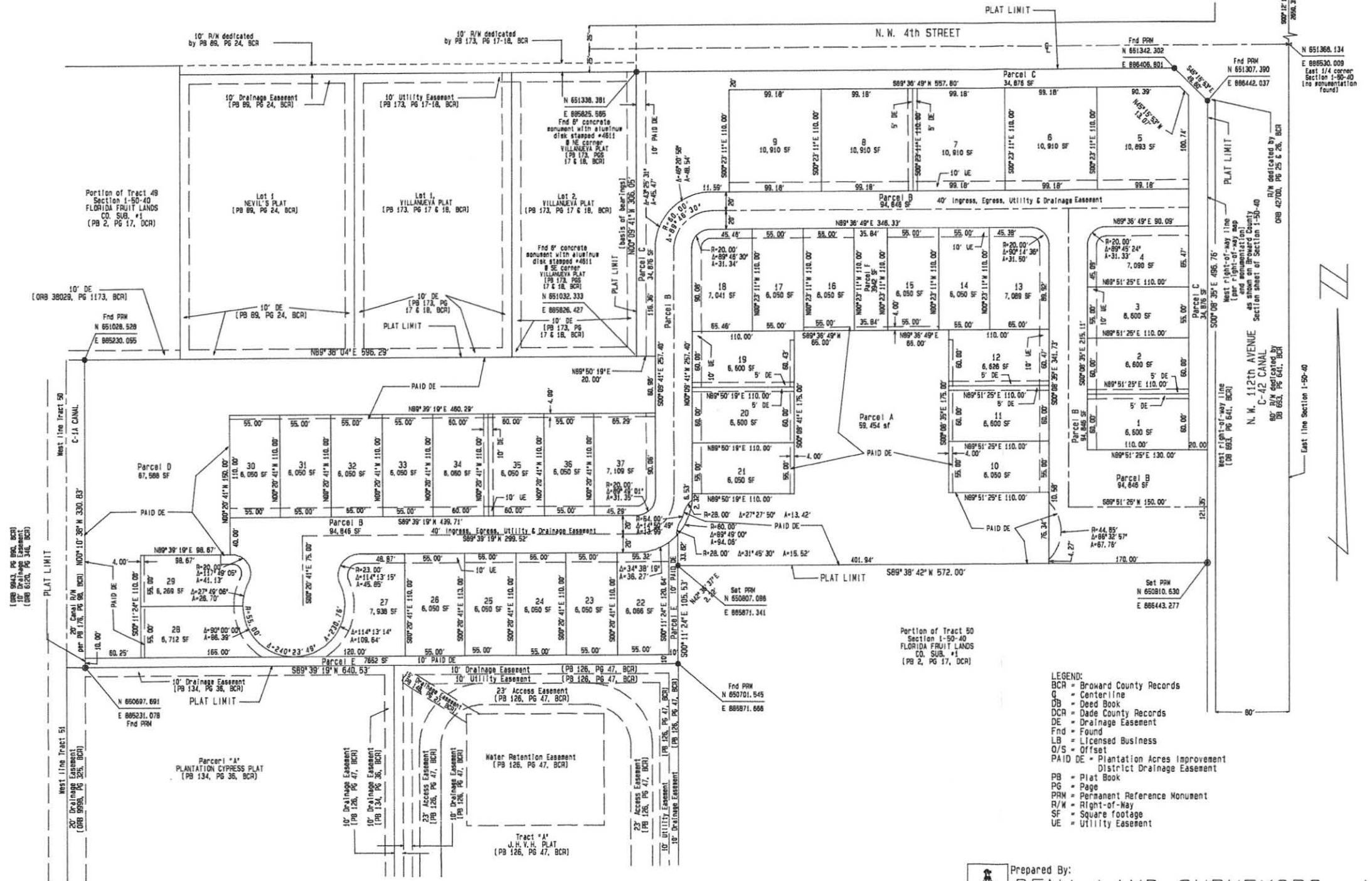
4. This plat is restricted to 37 single family lots.

This note is required by Chapter 5, Article IX, Broward County Code of Ordinances and may be amended by approval of the Broward County Board of County Commissioners. The notation and any amendments thereto are solely indicating the approved development level for property located within the plat and do not operate as a restriction in favor of any property owner including an owner or owners of property within this plat who took title to the property with reference to this plat.

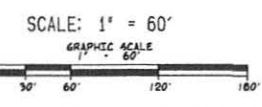
5. a) If a building permit for a principal building (excluding dry ponds, sales and construction offices) and first inspection approval are not issued by 2025 then the County's finding of adequacy shall expire and no additional building permits shall be issued until such time as Broward County makes a subsequent finding that the application satisfies the adequacy requirements set forth within the Broward County Land Development Code. The owner of the property shall be responsible for providing evidence to Broward County from the appropriate governmental entity documenting compliance with this requirement within the above referenced time frame; and/or

b) If construction of project water lines, sewer lines, drainage, and the rock base for internal roads have not been substantially completed by 2025, then the County's finding of adequacy shall expire and no additional building permits shall be issued until such time as Broward County shall make subsequent finding that the application satisfies the adequacy requirements set forth within the Broward County Land Development Code. The owner of the property or the agent of the owner shall be responsible for providing evidence to Broward County from the appropriate governmental entity, documenting compliance with this requirement within the above referenced time frame.

6. The following note is required by the Broward County Surveyor pursuant to Chapter 177.091, subsection (2B), Florida Statutes: Platted utility easements are also for the construction, installation, maintenance and operation of cable television services; provided, however, no such construction, installation, maintenance and operation of cable television services shall interfere with the facilities and services of electric, telephone, gas or other public utility. In the event a cable television company damages the facilities of a public utility, it shall be solely responsible for damages. This does not apply to private easements granted to or obtained by a particular electric, telephone, gas or other public utility. Such construction, installation, maintenance and operation shall comply with the National Electric Safety Code as adopted by the Florida Public Service Commission.



**LEGEND:**  
BCR = Broward County Records  
C = Centerline  
DB = Deed Book  
DCR = Dade County Records  
DE = Drainage Easement  
Fnd = Found  
LB = Licensed Business  
O/S = Offset  
PAID DE = Plantation Acres Improvement District Drainage Easement  
PB = Plat Book  
PG = Page  
PRM = Permanent Reference Monument  
R/W = Right-of-Way  
SF = Square Footage  
UE = Utility Easement



Prepared By:  
**DENI LAND SURVEYORS, INC.**  
1991 N.W. 35TH AVENUE, COCONUT CREEK, FLORIDA 33066  
PHONE (954)973-7966 FAX (954)979-0343

**PLANTATION ACRES IMPROVEMENT DISTRICT  
BROWARD COUNTY, FLORIDA**



1701 N.W. 112<sup>th</sup> Ave.  
Plantation, Florida 33325  
Telephone: (954) 474-3092  
Fax: (954) 474-3127

**APPLICATION INFORMATION**

SITE DATA RECORD       PLAT

**PROJECT NAME** Reflections in the Acres

**LOCATION** SW corner NW 4th Street & NW 118th Avenue

**DATE** \_\_\_\_\_ **FOLIO NO.** \_\_\_\_\_

<b>OWNER:</b>	<b>NAME</b>	<u>STKR Old Hiatus LLC</u>
	<b>ADDRESS</b>	<u>201 SE 12th Street, #100</u> <u>Fort Lauderdale, FL 33316</u>
	<b>PHONE</b>	<u>(954) 688-5572</u>

<b>AGENT/SURVEYOR/ ENGINEER:</b>	<b>NAME</b>	<u>Mikki Ulrich/Deni Land Surveyors</u>
	<b>ADDRESS</b>	<u>1991 NW 35th Avenue</u> <u>Coconut Creek, FL 33066</u>
	<b>PHONE</b>	<u>(954)973-7966</u>

**LEGAL DESCRIPTION:**  
All of Noor Plantation (PB 176, PG 97) & vacated R/W of  
NW 2nd Street  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**ENGINEER'S STAFF REPORT**  
FOR July 22, 2021 MEETING  
**AGENDA ITEM No.: B2**

**Action Required:** Board Approval (Quasi-Judicial)

**Item Description:** Reflections In The Acres  
Paving & Drainage Plan (Revised)

**P.A.I.D. Number:** C2007.01

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**Attachments:** Paving & Drainage Plans (Revised) Reduced 11"x17" copies  
Permit Application

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**Summary:** This item is for the approval of the paving and drainage plan for a 37 lot subdivision being platted at the SW corner of NW 112<sup>th</sup> Avenue and 4th Street, extending to the C-1A Canal to the West.

The Board approved the Reflection In The acres - Paving and Drainage plans on April 22, 2021 which consisted of a 42-lot development. Following that approval, STKR Old Hiatus, LLC revised the development site plan to reduce the number of lots from 42 to 37. The reduction in the number of lots are along NW 4<sup>th</sup> Street where the original site plan showed ten (10) lots abutting that right-of-way. The revised site plan and associated Paving and Drainage Plans now show five (5) wider lots abutting NW 4<sup>th</sup> Street including an increased common area buffer from 37 feet to 100 feet wide between the westernmost lot (Lot #9) adjacent to NW 4<sup>th</sup> Street and the adjoining property located at 11400 NW 4<sup>th</sup> Street. All other areas within the development remain unchanged and match the plans approved by the Board on April 22, 2021.

Due to a reduction in the number of lots, there is an increase in the overall pervious area.

The paving and drainage plans meet District criteria.

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**Recommendation:** APPROVE

- Comments:**
1. If Plat was not approved, this item can be "**APPROVED, subject to Plat approval**", or "**DEFERRED**".
  2. Approval is in effect for 6 months. A permit will be issued within 6 months providing the financial security requirements have been met.

Prepared by: WTV Date: 07/15/2021



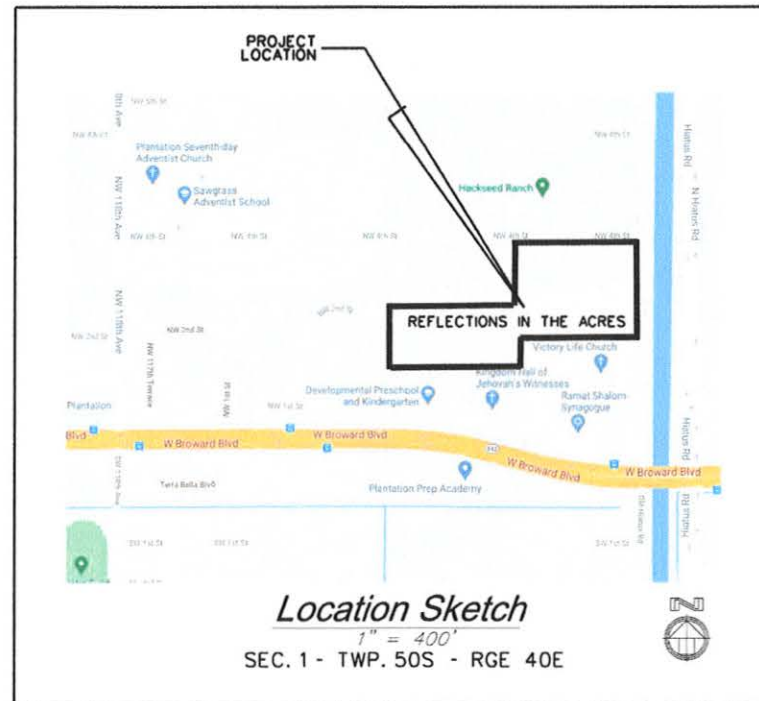
# REFLECTIONS IN THE ACRES

11200 N.W. 4TH STREET  
CITY OF PLANTATION, BROWARD COUNTY, FLORIDA  
STKR OLD HIATUS, LLC

## LEGEND

	1 TYPE 'C' INLET	1	DRAINAGE INLET DESIGNATION
	M.H.		MANHOLE
	90' - 15' C.M.P.		LENGTH, SIZE, AND TYPE OF PIPE
			FLOW OR WARP LINE
	0.30%		RIDGE LINE
			PAVEMENT SLOPE AND DIRECTION
			DIRECTION OF OVERLAND FLOW
	5.20'		PROPOSED GRADE
	1.00'		EXISTING GRADE
	F.F. + 7.50		FINISHED FLOOR ELEVATION
			CONCRETE SIDEWALK
			EXISTING OR UTILITIES BY OTHERS
			PROPOSED ASPHALT PAVEMENT
			EXISTING PAVEMENT
	P.R.B.		POLLUTION RETARDANT BASIN
	B.R.		BLUE REFLECTOR
	L.A./W.S.E.		LAKE ACCESS/WATER STORAGE EASEMENT
	D.W.E.		DESIGN WATER ELEVATION
			EX. GATE VALVE AND FIRE HYDRANT
			DOUBLE WATER SERVICE
			SINGLE WATER SERVICE
			FIRE HYDRANT AND GATE VALVE
			BACTERIOLOGICAL SAMPLING POINT
	W.M.		WATER MAIN
	G.V.		GATE VALVE
	F.H.		FIRE HYDRANT
	B.R.		BLUE REFLECTOR
	1		STRUCTURE DESIGNATION
	R.E.		RIM ELEVATION
	I.E.		INVERT ELEVATION
			DOUBLE SEWER SERVICE
			SINGLE SEWER SERVICE
			DIRECTION OF SANITARY SEWER FLOW

<b>OWNER - DEVELOPER</b> STKR OLD HIATUS, LLC 701 SE 17TH STREET, SUITE 300 FT. LAUDERDALE, FLORIDA 33316 (954) 324-1711
<b>SITE CIVIL ENGINEER</b> JONATHAN W. KEITH, P.A. P.O. BOX 1017 BOYNTON BEACH, FLORIDA 33425 (954) 914-8109
<b>ARCHITECT</b> EDWARD SILVA ARCHITECT 8900 SW 117TH AVENUE, #2107 MIAMI, FLORIDA 33156 (305) 275-8383
<b>LANDSCAPE ARCHITECT</b> PARKER - YANNETTE DESIGN GROUP, INC. 825 SOUTH U.S. HIGHWAY ONE, SUITE 330 DADE CITY, FLORIDA 33427 (561) 747-2041
<b>SURVEYOR - PRE-CONST.</b> DENLAND SURVEYORS, INC. 5921 N.W. 32TH AVENUE COCONUT CREEK, FLORIDA 33066 (954) 973-7888



WATER AND WASTEWATER PROVIDER: CITY OF PLANTATION  
SOLID WASTE & RECYCLING PROVIDER: CITY OF PLANTATION

### PROPERTY INFORMATION:

PROPERTY ADDRESS:  
11200 N.W. 4TH STREET, PLANTATION, FLORIDA 33325  
LEGAL DESCRIPTION:

A REPLAT OF NOOR PLANTATION (PLAT BOOK 176, PAGE 97, BCR) AND THE VACATED RIGHT-OF-WAY OF N.W. 2ND STREET IN SECTION 1, TOWNSHIP 50, RANGE 40 EAST, CITY OF PLANTATION, BROWARD COUNTY, FLORIDA.

## SHEET INDEX

### CIVIL ENGINEERING PLANS

SWPP OF 1	STORMWATER POLLUTION PREVENTION - PLAN, NOTES & DETAILS
PO1 OF 6	OVERALL MASTER PAVING AND DRAINAGE SYSTEM - PLAN
PO2 OF 6	EASTERN PORTION PAVING AND DRAINAGE SYSTEM - PLAN
PO3 OF 6	WESTERN PORTION PAVING AND DRAINAGE SYSTEM - PLAN
PO4 OF 6	PAVING AND DRAINAGE SYSTEM - SECTIONS
PO5 OF 6	PAVING AND DRAINAGE SYSTEM - DETAILS AND PAVEMENT SECTIONS
PO6 OF 6	TYPICAL LOT LAYOUT & GRADING PLAN
WS6 OF 13	SEWAGE LIFT STATION (AREA GRADING DETAILS)
GN1 OF 1	GENERAL NOTES

## SITE PAVING AND DRAINAGE SYSTEM PLANS

P.A.I.D. NUMBER C2007.01



Know what's below.  
Call before you dig.



JONATHAN W. KEITH, P.A.  
Consulting Engineers  
P.O. Box 1017, Boynton Beach, Florida 33425  
(954) 914-8109 AUTH. NO. EB-26425



Jon Keith  
2020.09.  
29  
13:10:44  
-04'00'



REFLECTIONS IN THE ACRES  
STKR OLD HIATUS, LLC  
JONATHAN W. KEITH, P.A.  
Consulting Engineers

Approved by:

Licensed Eng. No. 41052  
State of Florida  
Date: SEPTEMBER 23, 2020  
PROJECT NUMBER: 20-01

NOT PLATTED  
11491 NW 4 ST

HENRY PLAT  
P.B. 174, PG. 105  
11451 NW 4 ST

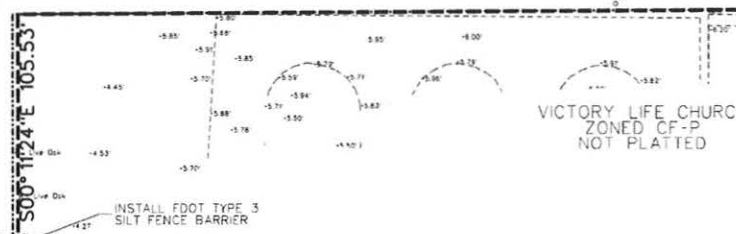
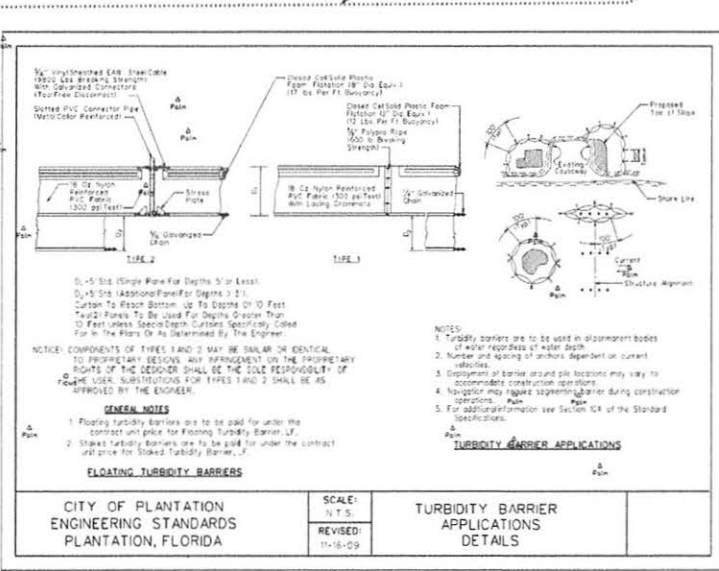
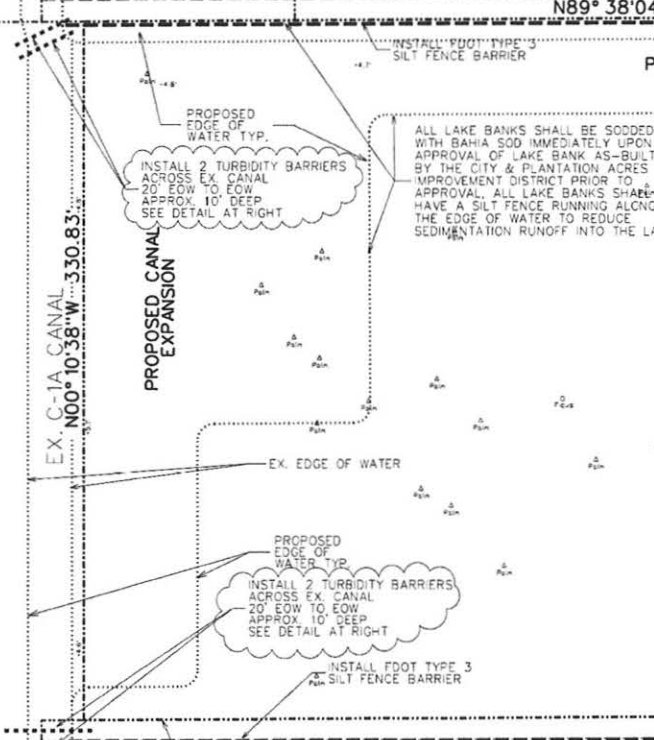
NOT PLATTED  
11321 NW 4 ST

PARCELS A & B - CAROSELLA PLAT P.B. 93, PG. 43 & PARCEL A - RIZZO PLAT P.B. 88, PG. 33  
11201 NW 4 ST

**CONSTRUCTION EROSION AND SEDIMENT CONTROL NOTES:**

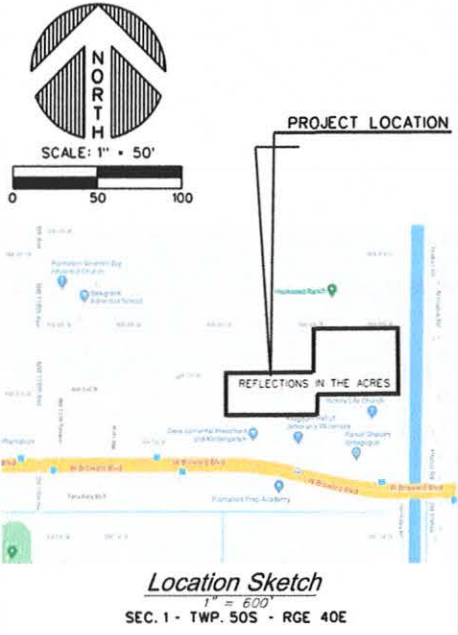
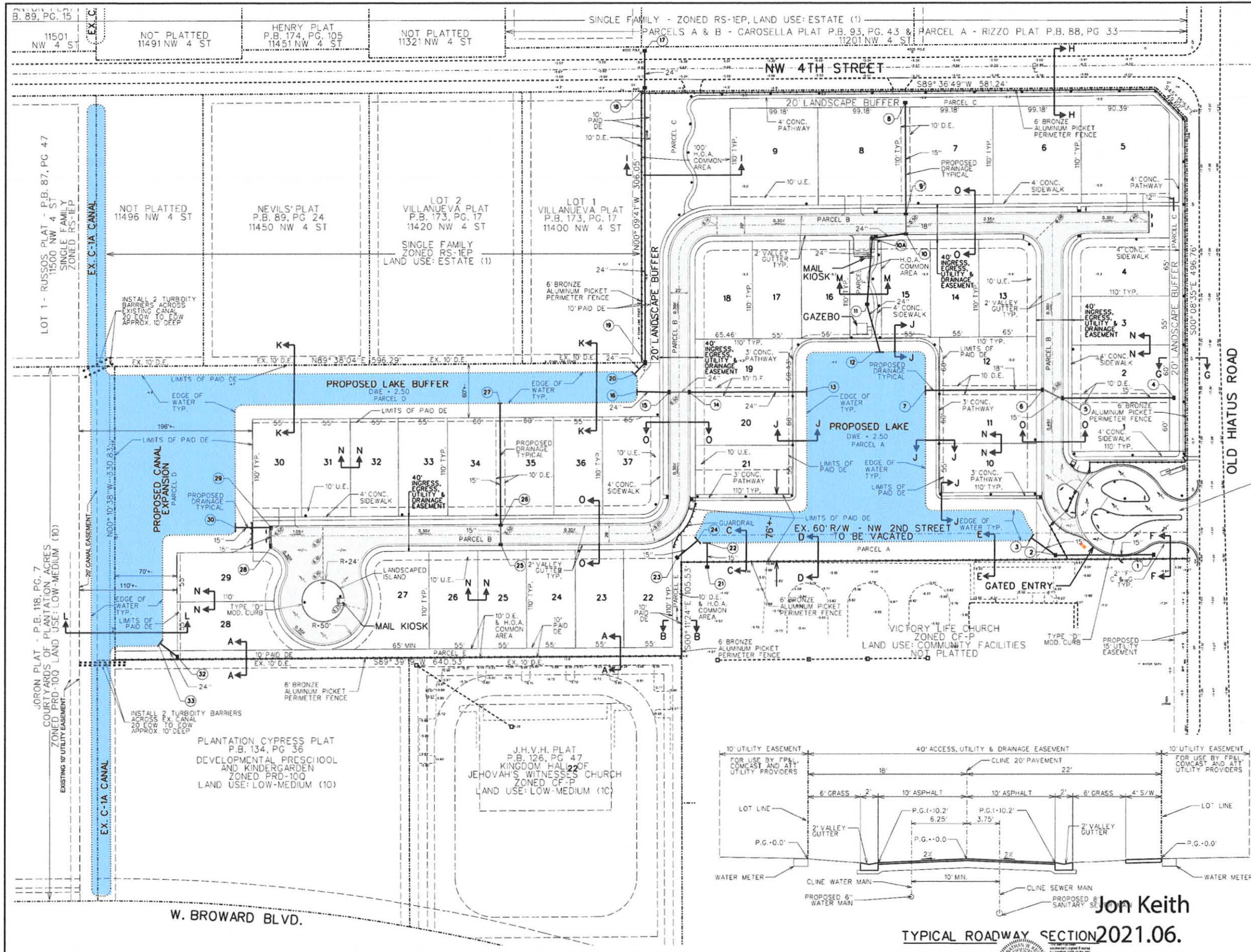
- THE SCHEDULING, SEQUENCING AND CONTROL MEASURES, WHICH ARE OUTLINED HEREIN, ARE SUBJECT TO THE FINAL DEFINITION BY THE CONTRACTOR WHO WILL BE SELECTED TO PERFORM THE WORK & WILL BE RESPONSIBLE FOR IMPLEMENTATION AND COMPLIANCE.
- THE CONTRACTOR SHALL SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN ENCOMPASSING THE PRINCIPALS & THE REQUIREMENTS DESCRIBED HEREIN & A SCHEDULE FOR THEIR IMPLEMENTATION & MAINTENANCE FOR THE PROJECT DURATION.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO ENSURE AGAINST POLLUTING, SILTATION OR DISTURBANCE TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING DRAINAGE SYSTEMS & ADJACENT WATER BODIES, IN COMPLIANCE WITH ALL PERMIT REQUIREMENTS RELATED TO SUCH MEASURES.
- METHODS MAY INCLUDE CONSTRUCTION OF TEMPORARY CONTROL STRUCTURES SUCH AS SEDIMENT BASINS, SEDIMENT CHECKS, SILT BARRIERS, SILT SCREENS, TURBIDITY BARRIERS OR THE BEST MANAGEMENT PRACTICES AVAILABLE TO THE INDUSTRY.
- EROSION & SEDIMENT CONTROL INSTALLATIONS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL NEW VEGETATIVE GROWTH HAS BEEN ESTABLISHED.
- THROUGHOUT THE CONSTRUCTION PERIOD, THE CONTRACTOR SHALL INSPECT DAILY THE PROTECTIVE INSTALLATIONS FOR FAILURE, SIGNS OF FAILURE OR MALFUNCTION & EFFECT REPAIRS OR REPLACEMENT IMMEDIATELY UPON DISCOVERY.
- ON-SITE AND OFF-SITE INLETS & CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT STORM RUNOFF.
- CONSTRUCTION ACTIVITIES WILL NOT RESULT IN ANY DISCHARGE OF TURBID WATER FROM THE PROJECT SITE WITHOUT PROPER EROSION AND SEDIMENT CONTROL AND APPROVAL FROM ENGINEER.
- PHASING OF EROSION CONTROL DEMOLITION SHALL BE RECOMMENDED AS FOLLOWS:
- PLACEMENT OF PERIMETER PROTECTIVE MEASURES (SILT FENCE, HAY BALES, TURBIDITY BARRIERS, ETC.) AROUND ON-SITE FEATURES TO BE RETAINED, AT POINTS OF OFF-SITE DISCHARGE AND AROUND WORK AREAS TO BE EXCAVATED OR FILLED.
- ROUTE RUNOFF FROM AREAS OUTSIDE OF THE CONSTRUCTION AREA TO MINIMIZE FLOW THROUGH AREAS TO BE DISTURBED BY CONSTRUCTION. BERMS, SWALES AND OTHER MEANS USED FOR SUCH CONVEYANCE SHALL BE VEGETATED AND MEASURES TAKEN TO PROVIDE PROTECTION UNTIL STABILIZATION OCCURS.
- SELECT LOCATIONS FOR PLACEMENT OF EXCAVATED MATERIAL, WHERE SUITABLE FOR FILL OR UNSUITABLE MATERIAL AND CONSTRUCT CONTAINMENT BERMS AROUND THE AREA. THE USE OF STRIPING FOR THIS PURPOSE MAY ACCELERATE BERM VEGETATION. CONSTRUCT TEMPORARY OUTLETS FOR CONTAINMENT AREAS WITH SCREENS, HAY BALES, SETTLING BASINS OR OTHER MEASURES TO PREVENT SILT TRANSPORT.
- SELECT / DESIGNATE ACCESS ROUTING FOR CONSTRUCTION EQUIPMENT & VEHICLES & PROVIDE PERIMETER PROTECTIVE MEASURES WHERE EXISTING TERRAIN WILL BE SUBJECT TO DISRUPTION BY SUCH TRAFFIC.
- CONSTRUCT ABOVE GROUND OR OTHER CONTAINMENT AREAS FOR CONSTRUCTION AREA RUNOFF. PROVIDE SCREENS, HAY BALES, ETC. TO FILTER DISCHARGE FROM THOSE AREAS.
- SPILL MOUNDS SHALL NOT BE LEFT FOR MORE THAN ONE WEEK PRIOR TO REPLACEMENT UNLESS PROTECTIVE MEASURES IN THE WORK AREA ARE APPLIED.
- GRASSING, SOODING, ETC. SHALL BE IN PLACE IMMEDIATELY UPON COMPLETION OF REGRADING, SWALE SLOPES AND THE CONSTRUCTED OR DISTURBED AREAS.
- THE CONTRACTOR IS REQUIRED TO ADHERE TO THE REQUIREMENT OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES), THE CONTRACTOR SHALL INSTITUTE BEST MANAGEMENT PRACTICES (BMPs) TO ENSURE COMPLIANCE WITH THE NPDES PROGRAM AND TO MINIMIZE THE IMPACT TO PUBLIC STORMWATER FACILITIES. A NOTICE OF INTENT (NOI) SHALL BE FILED PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.
- PRIOR TO CONSTRUCTION, A SILT FENCE IN ACCORDANCE WITH CITY'S DETAIL SILT FENCE SHALL BE CREATED AS NOTED ON THE PLANS. ALL PROPOSED CATCH BASINS WILL HAVE THEIR INLETS PROTECTED BY THE INSTALLATION OF FILTER FABRIC INTO THE FRAME AND GRATE. THIS SILT FENCE AND FILTER FABRIC WILL REMAIN IN PLACE DURING THE ENTIRE DURATION OF CONSTRUCTION.
- CONTRACTOR WILL BRACE ALL EXISTING LANDSCAPING TO REMAIN PRIOR TO BEGINNING ANY WORK AND WILL ENSURE THEIR STABILIZATION THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. EXISTING SOO DISTURBED BY CONSTRUCTION THAT IS NOT AFFECTED BY PROPOSED GRADING WILL BE RESTORED TO ITS ORIGINAL STATE UPON COMPLETION OF CONSTRUCTION. SOODED SLOPES STEEPER THAN 4 HORIZONTAL TO 1 VERTICAL WILL BE REEGD.
- ALL WASTE GENERATED FROM THE CONSTRUCTION SHALL BE DISCARDED IN ACCORDANCE WITH ALL APPLICABLE STATE, LOCAL & FEDERAL REGULATIONS. CONTRACTOR IS TO OBTAIN ALL APPLICABLE COSES & BECOME FAMILIAR WITH STATE, LOCAL & FEDERAL REGULATIONS PRIOR TO BEGINNING CONSTRUCTION. REGULATIONS CAN BE FOUND, BUT NOT LIMITED TO, DEPT. OF ENV. RESOURCE MANAGEMENT & DEPT. OF ENV. PROTECTION.
- TO ENSURE THAT OFF-SITE VEHICLE TRACKING OF SEDIMENTS & THE GENERATION OF DUST IS MINIMIZED, CONTRACTOR IS TO PUT INTO PRACTICE THE METHODS DETAILED IN FOOT INDEX 106 (LATEST VERSION) & BMP.
- DUST GENERATED FROM CONSTRUCTION WILL BE MINIMIZED BY DAILY WATERING OF THE SITE.
- AT ANY TIME DURING CONSTRUCTION THAT THE SILT FENCING IS DISTURBED, THE SILT FENCING SHALL BE RESTORED TO ITS ORIGINAL STATE WITHIN 24 HOURS. AT NO TIME DURING CONSTRUCTION SHALL WORK BE PERFORMED WITHOUT THE INTEGRITY OF THE SILT FENCING SECURED.
- A QUALIFIED INSPECTOR, PROVIDED BY THE OPERATOR, SHALL INSPECT ALL POINTS OF DISCHARGE INTO NEARBY SURFACE WATER OF THE STATE AND SFWD. THE INSPECTION WILL OCCUR AT LEAST EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER. INSPECTION INCLUDES THE WRITTEN RECORDING OF THE CONDITION OF ALL DISCHARGE POINTS, INTEGRITY OF SILT FENCING, DAILY DUST CONTROL MEASURES, VEHICULAR TRAFFIC & CONSTRUCTION MATERIAL STORAGE & DISPOSAL. WRITTEN RECORD OF ALL INSPECTIONS WILL BE STORED BY THE OPERATOR DURING CONSTRUCTION.
- THE INSPECTION REPORT WILL INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING INFORMATION: NAME & QUALIFICATION OF PERSONNEL MAKING THE INSPECTION, DATE OF INSPECTION, RAINFALL DATE, MAJOR OBSERVATIONS RELATING TO THE SWPPP, ACTIONS TAKEN BY CONTRACTOR & ANY INCIDENT OF NONCOMPLIANCE WITH PERMIT. WHERE AN INSPECTOR DOES NOT IDENTIFY ANY INCIDENT OF NONCOMPLIANCE, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE SWPPP & THE PERMIT.
- THE PERMITTEE SHALL RETAIN A COPY OF THE SWPPP AND ALL REPORTS, RECORDS AND DOCUMENTATION REQUIRED BY THE PERMIT AT THE CONSTRUCTION SITE, OR AN APPROPRIATE ALTERNATIVE LOCATION AS SPECIFIED IN THE NOTICE OF INTENT, FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION. THE PERMITTEE SHALL RETAIN COPIES OF SWPPP & ALL REPORTS REQUIRED BY THIS PERMIT, & RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THE PERMIT, FOR A PERIOD OF AT LEAST THREE (3) YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED.

EX. C-1A CANAL  
N00° 10' 38" W 330.83'

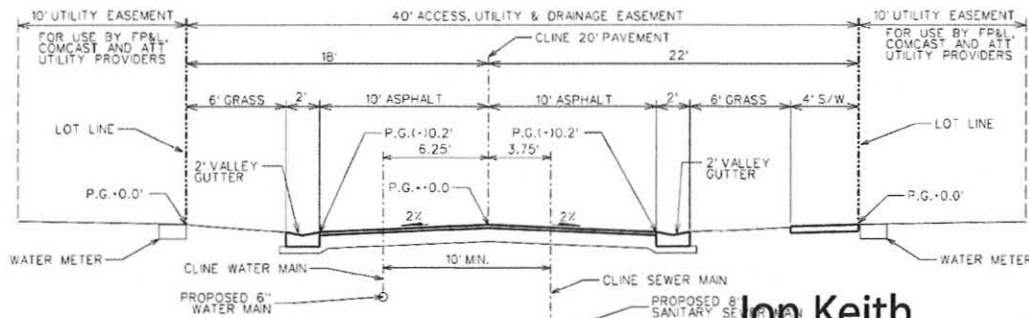


Jon Keith  
2021.06.29  
15:14:51  
-04'00"

NO. DATE BY REVISION	NO. DATE BY REVISION	Designed by: J.W.K. Date: 4/20	<b>JONATHAN W. KEITH, P.A.</b> Consulting Engineers P.O. Box 1017 Boynton Beach, Florida 33425 (954) 914-8109 AUTHORIZATION NUMBER EB-26425	Approved by: JONATHAN W. KEITH Date: _____ Licensed Engineer Number 41052 State of Florida	PROJECT NUMBER 20-01	SHEET NUMBER SWPP 1 OF 1
		Drawn by: J.W.K. Date: 4/20				
1 9/23/20 JWK ADD ADDITIONAL TURBIDITY BARRIERS						



- NOTES:
1. ALL ELEVATIONS SHOWN HEREIN ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
  2. LOT DIMENSIONS SHOWN HEREIN ARE APPROXIMATE. REFER TO PLAT PREPARED BY DEED LAND SURVEYORS FOR HORIZONTAL CONTROL INFORMATION.
  3. REFER TO SHEET PD 2 AND PD3 FOR DETAILED ON-SITE AND OFF-SITE PAVING AND DRAINAGE SYSTEM DESIGN INFORMATION.
  4. REFER TO SHEET PD 4 FOR TYPICAL SECTIONS FOR ON-SITE AND OFF-SITE DRAINAGE SWALES, COMMON AREAS AND LAKE-CANAL BANK CONFIGURATIONS.
  5. REFER TO SHEET PD5 FOR TYPICAL PAVEMENT SECTIONS & NOTES, DRAINAGE AND CONCRETE WORK DETAILS.
  6. REFER TO SHEET PD6 FOR TYPICAL LOT LAYOUT AND GRADING FOR EACH UNIT TYPE.
  7. REFER TO SHEET TM 1 FOR PAVEMENT MARKINGS AND SIGNAGE PLAN, NOTES AND DETAILS.



Jon Keith  
 2021.06.  
 TYPICAL ROADWAY SECTION

NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
3	6-17-21	JWK	REVISE FROM 42 TO 37 LOTS				
2	9-23-20	JWK	REV. PER PAID REVIEW COMMENTS				
1	8-31-20	JWK	REV PER CITY & PAID REVIEW COMM				

Designed by: J.W.K. Date: 4/20  
 Drawn by: J.W.K. Date: 4/20  
 Checked by: J.W.K. Date: 4/20



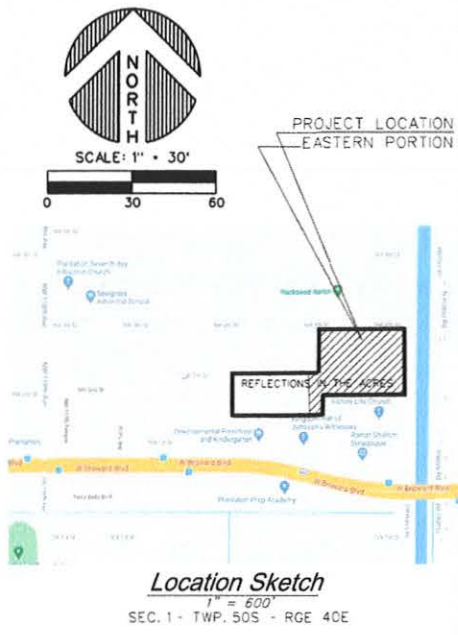
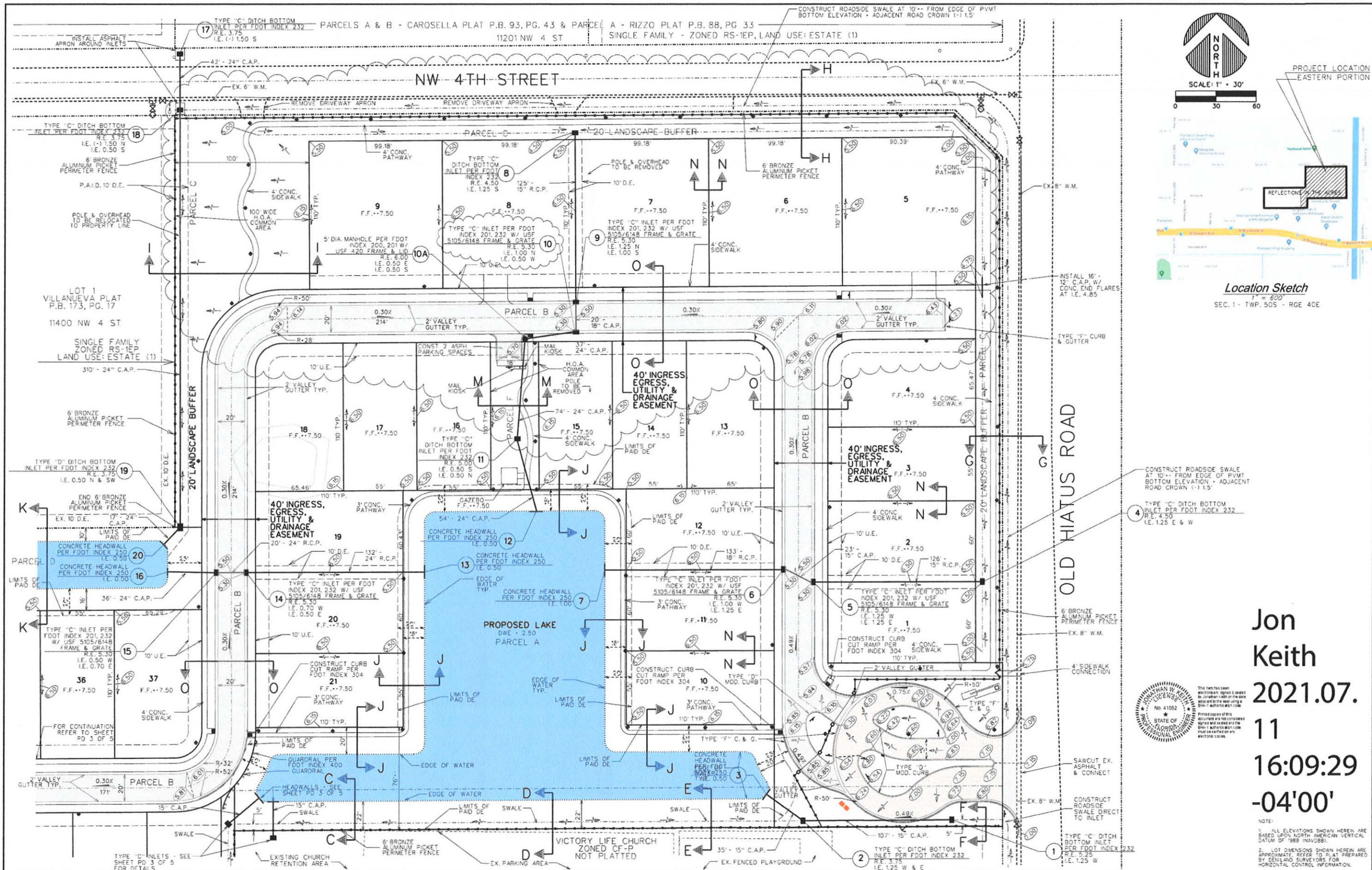
**JONATHAN W. KEITH, P.A.**  
 Consulting Engineers  
 P.O. Box 1017  
 Boynton Beach, Florida 33425 (954) 914-8109  
 AUTHORIZATION NUMBER EB-26425

Approved:   
 Date: 15:15:47  
 Licensed Engineer Number: 41052

**OVERALL MASTER PAVING AND DRAINAGE SYSTEM - PLAN**  
 REFLECTIONS IN THE ACRES  
 STKR OLD HIATUS, LLC

PROJECT NUMBER: 20-01  
 SHEET NUMBER: PD 1 OF 6

-04'00"

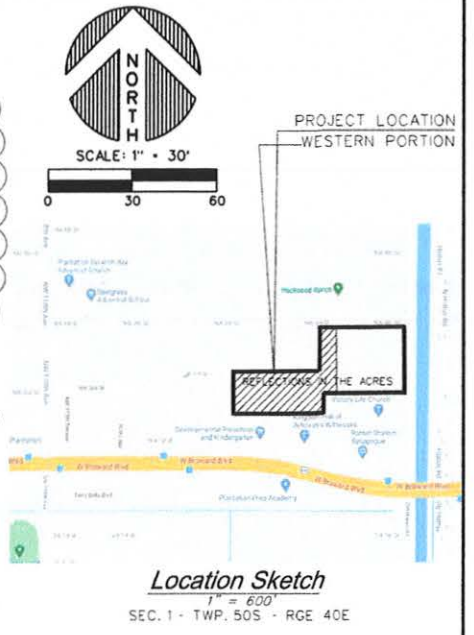
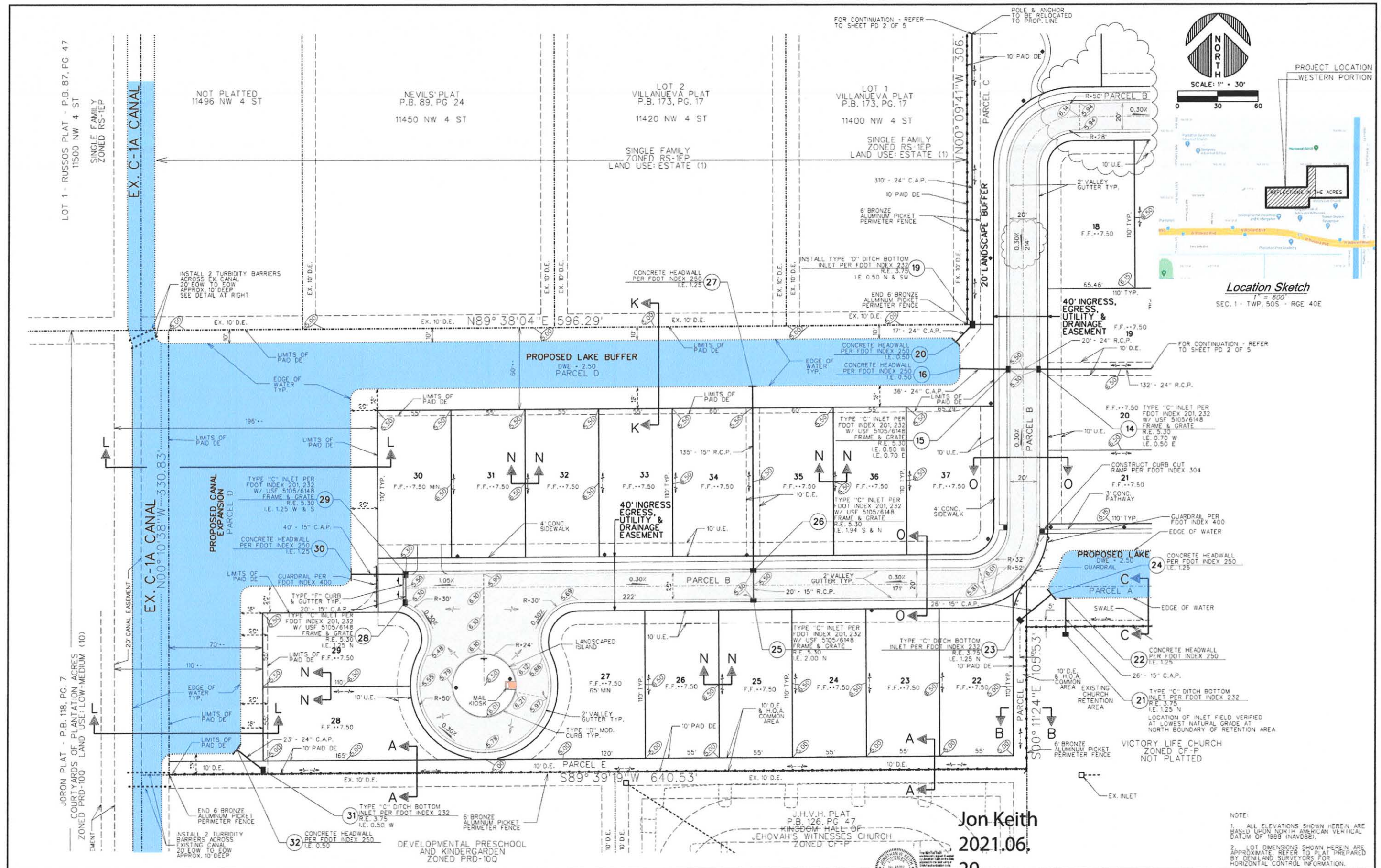


Jon  
Keith  
2021.07.  
11  
16:09:29  
-04'00'



NOTE:  
1. ALL ELEVATIONS SHOWN HEREIN ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).  
2. LOT DIMENSIONS SHOWN HEREIN ARE APPROXIMATE. REFER TO PLAT PREPARED BY DEVLAND SURVEYORS FOR HORIZONTAL CONTROL INFORMATION.

4	7-11-21	JWK	REVISE STR 10 IE FROM S TO W	Designed by: J.W.K.	Date: 4/20		<b>JONATHAN W. KEITH, P.A.</b> Consulting Engineers P.O. Box 1017 Boynton Beach, Florida 33425 (954) 914-8109 AUTHORIZATION NUMBER EB-26425	Approved by: JONATHAN W. KEITH Date: _____ Licensed Engineer Number 41052 State of Florida	<b>EASTERN PORTION</b> <b>PAVING AND DRAINAGE SYSTEM - PLAN</b> <b>REFLECTIONS IN THE ACRES</b> STKR OLD HIATUS, LLC	PROJECT NUMBER	20-01
3	6-17-21	JWK	REV. FROM 42 TO 37 LOTS	Drawn by: J.W.K.	Date: 4/20					SHEET NUMBER	PD 2 OF 6
2	9/23/20	JWK	REV. PER PAD REVIEW COMMENTS	Checked by: J.W.K.	Date: 4/20						
1	8-31-20	JWK	REV. PER CITY & PAD REVIEW COMM.								
NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION				



Location Sketch  
1" = 600'  
SEC. 1 - TWP. 50S - RGE 40E

Jon Keith  
2021.06.  
29  
15:18:29  
-0400

NOTE:  
1. ALL ELEVATIONS SHOWN HEREIN ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).  
2. LOT DIMENSIONS SHOWN HEREIN ARE APPROXIMATE. REFER TO PLAT PREPARED BY DENILAND SURVEYORS FOR HORIZONTAL CONTROL INFORMATION.

NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
3	6-17-21	JWK	REVISE FROM 42 TO 37 LOTS				
2	9/23/20	JWK	REV. PER PAD REVIEW COMMENTS				
1	8-31-20	JWK	REV PER CITY & PAD REVIEW COMM				

Designed by: J.W.K. Date: 4/20  
 Drawn by: J.W.K. Date: 4/20  
 Checked by: J.W.K. Date: 4/20



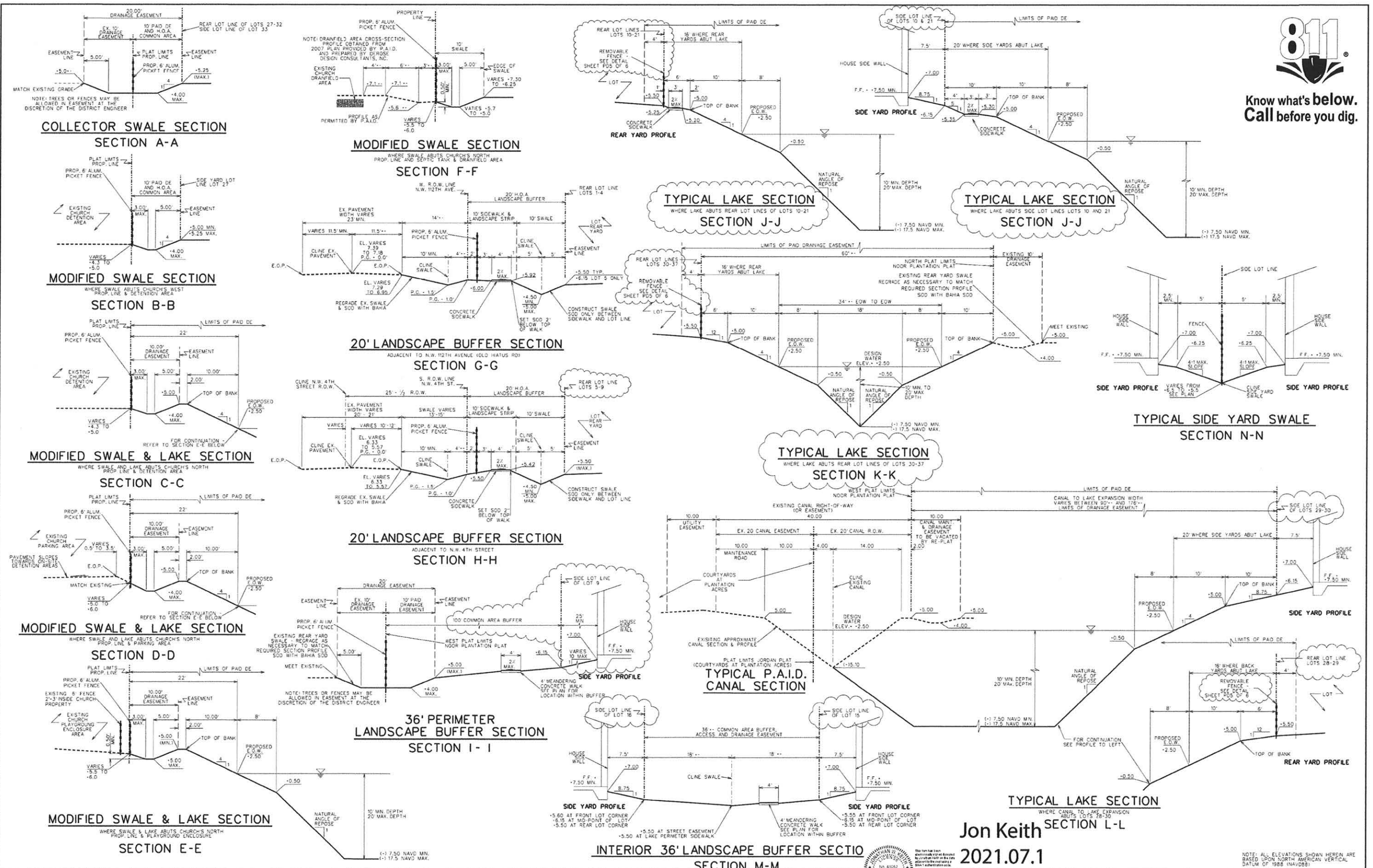
**JONATHAN W. KEITH, P.A.**  
 Consulting Engineers  
 P.O. Box 1017  
 Boynton Beach, Florida 33425 (954) 914-8109  
 AUTHORIZATION NUMBER EB-26425

Licensed Engineer Number: 41202  
 State of Florida

WESTERN PORTION  
 PAVING AND DRAINAGE SYSTEM - PLAN  
 REFLECTIONS IN THE ACRES  
 STKR OLD HIATUS, LLC  
 PROJECT NUMBER: 20-01  
 SHEET NUMBER: PD3 OF 6



Know what's below.  
Call before you dig.



NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
4	7-11-21	JWK	ADD REMOVABLE FENCE ON SEC. K-K				
3	6-17-21	JWK	REVISE FROM 49 TO 37 LOTS ADD REMOVABLE FENCE ON REAR LOT LINES				
2	9-23-20	JWK	REVISE SECTIONS G-G & H-H				
1	8-31-20	JWK	REV. SECTIONS PER PAID REVIEW COMMENTS				

Designed by: J.W.K. Date: 4/20  
 Drawn by: J.W.K. Date: 4/20  
 Checked by: J.W.K. Date: 4/20



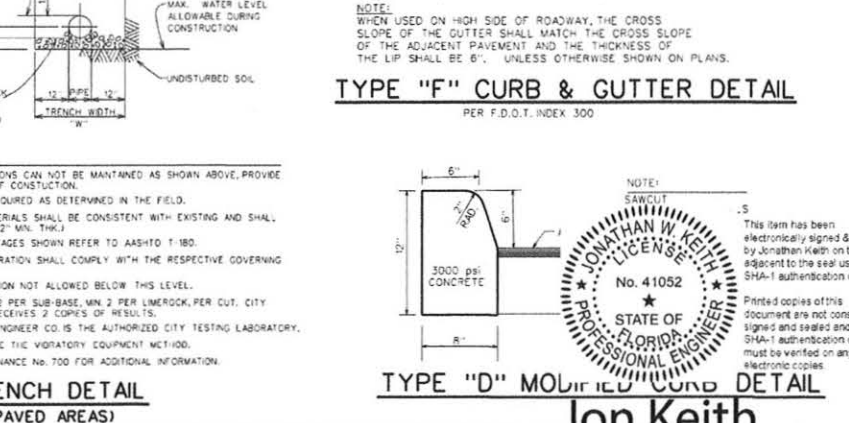
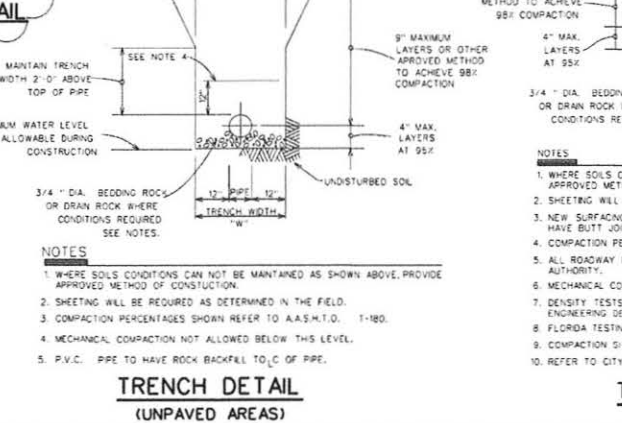
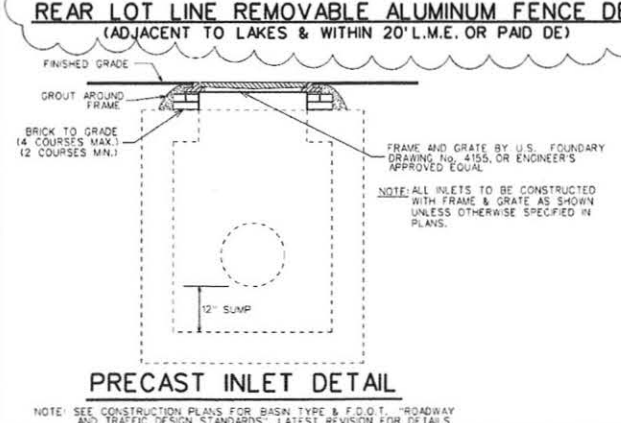
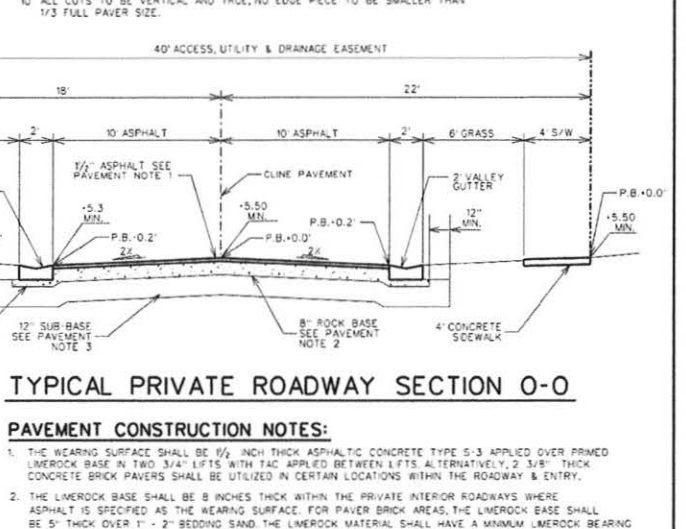
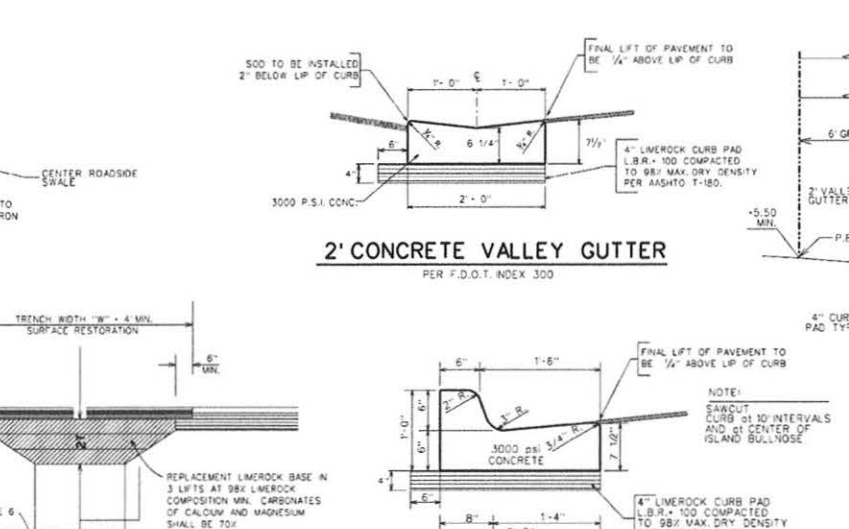
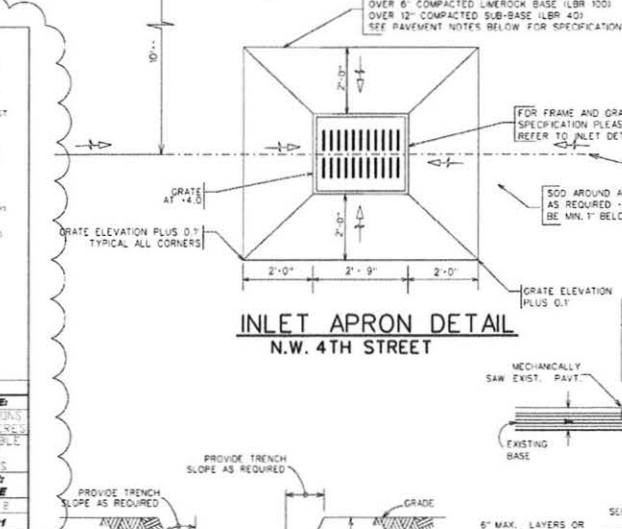
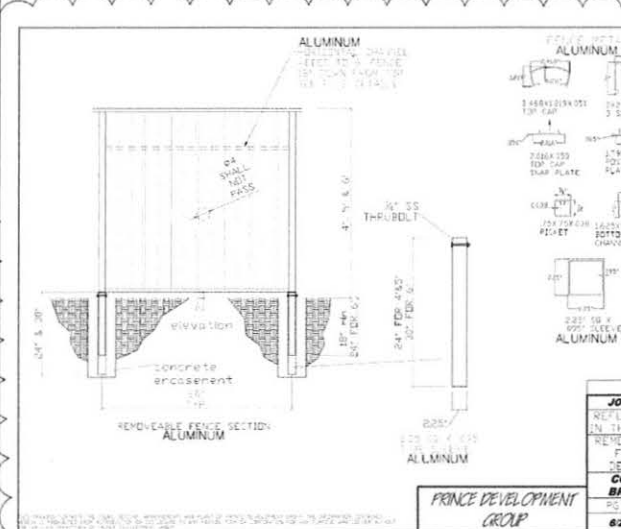
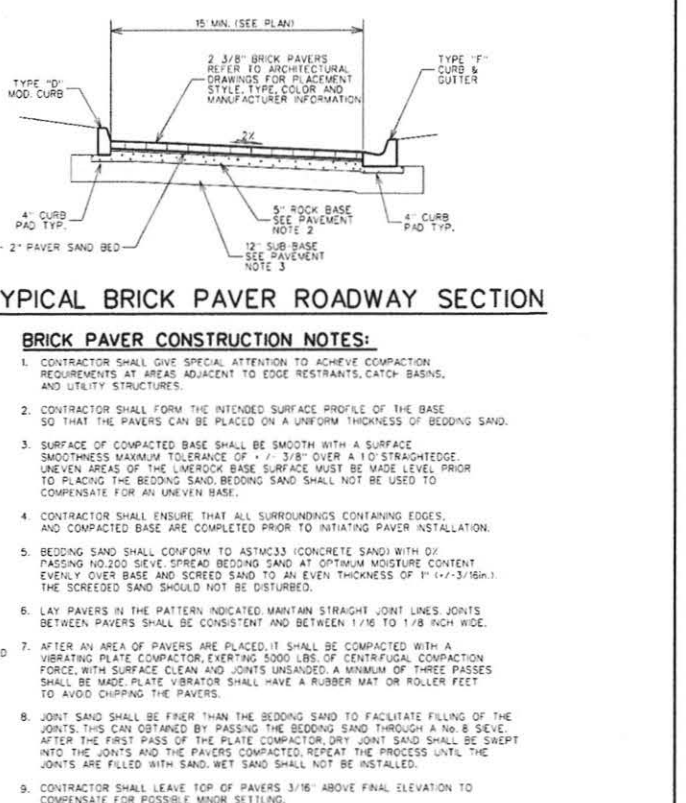
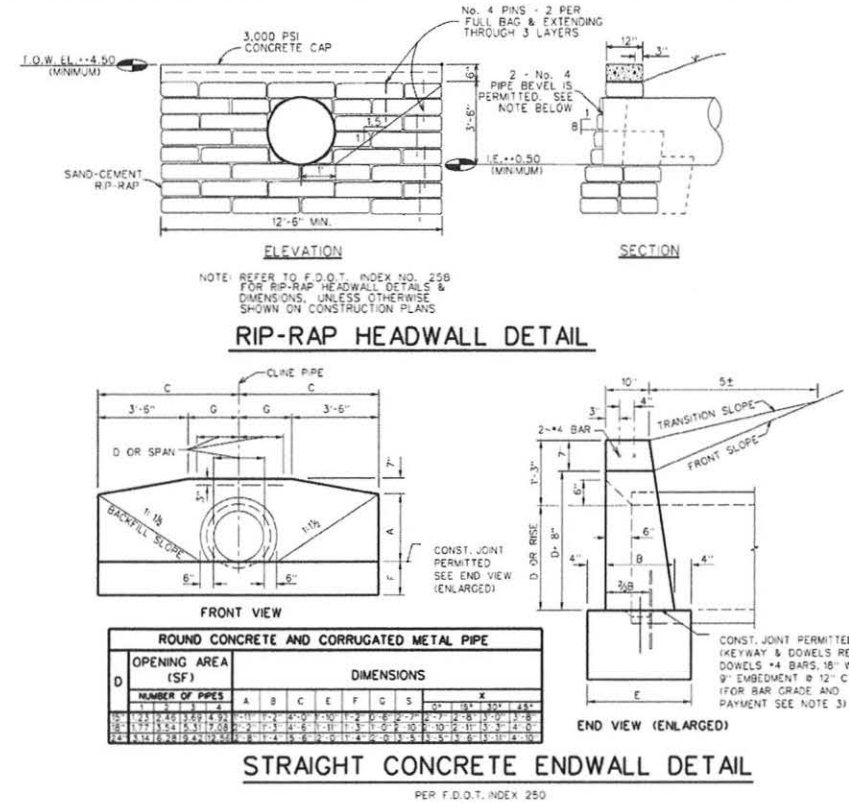
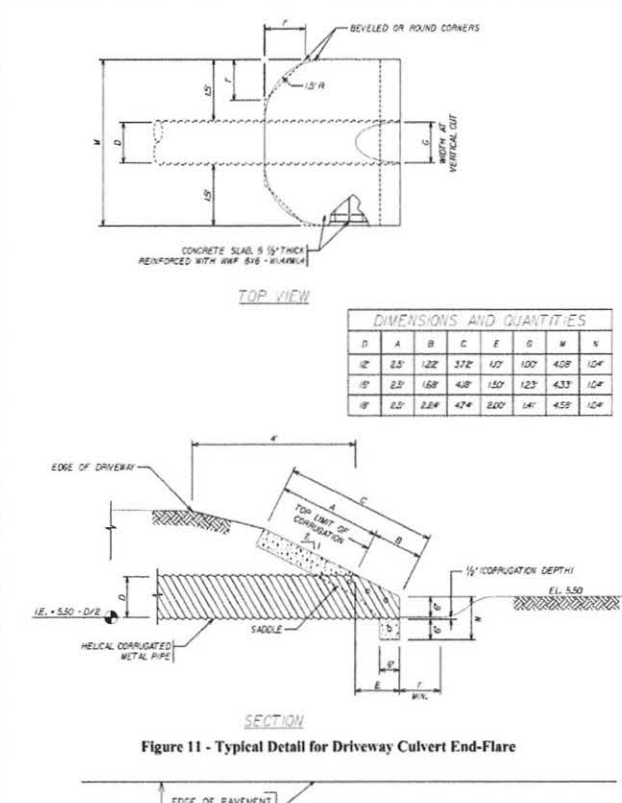
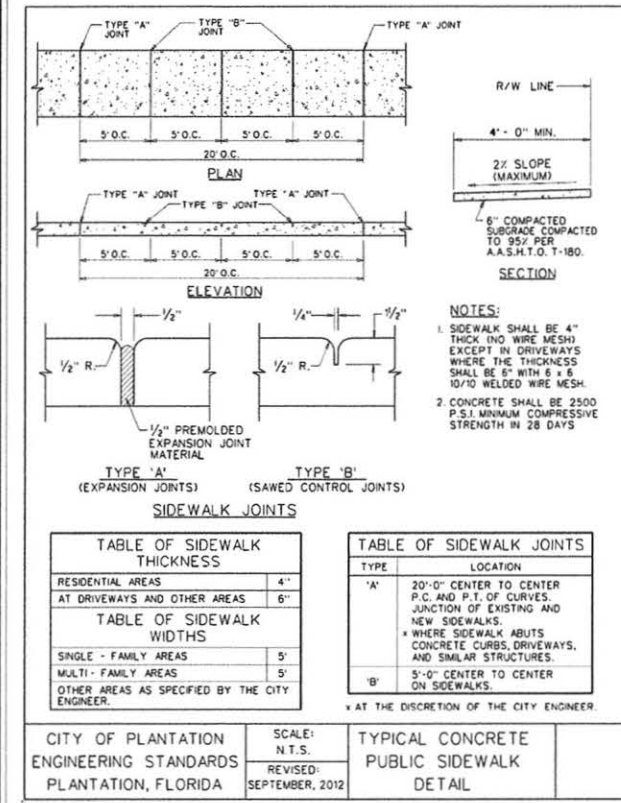
**JONATHAN W. KEITH, P.A.**  
 Consulting Engineers  
 P.O. Box 1017  
 Boynton Beach, Florida 33425 (954) 914-8109  
 AUTHORIZATION NUMBER EB-26425

16:22:35  
 04'00"

**PAVING AND DRAINAGE SYSTEM SECTIONS**  
**REFLECTIONS IN THE ACRES**  
 STKR OLD HIATUS, LLC

PROJECT NUMBER: 20-01  
 SHEET NUMBER: PD4 OF 6

NOTE: ALL ELEVATIONS SHOWN HEREIN ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)



NOTE: SEE CONSTRUCTION PLANS FOR BASH TYPE & F.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS", LATEST REVISION FOR DETAILS

NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
2	7-11-21	JWK	DEF. FENCE MATERIAL AS ALUMINUM				
1	6-17-21	JWK	ADD REMOVABLE FENCE DETAIL				

DESIGNED BY: J.W.K. DATE: 4/20

DRAWN BY: J.W.K. DATE: 4/20

CHECKED BY: J.W.K. DATE: 4/20

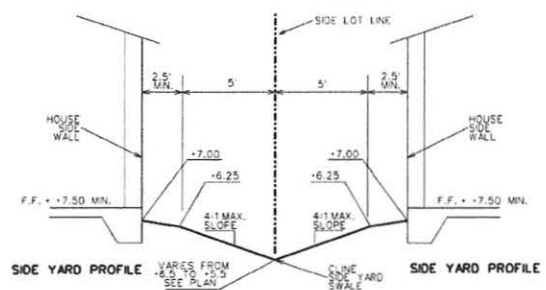
**JONATHAN W. KEITH, P.A.**  
 Consulting Engineers  
 P.O. Box 1017  
 Boynton Beach, Florida 33425 (954) 914-8109  
 AUTHORIZATION NUMBER EB-26425

APPROVED BY: JONATHAN W. KEITH  
**2021.07.11**  
 LICENSED ENGINEER NUMBER 41052  
 STATE OF FLORIDA

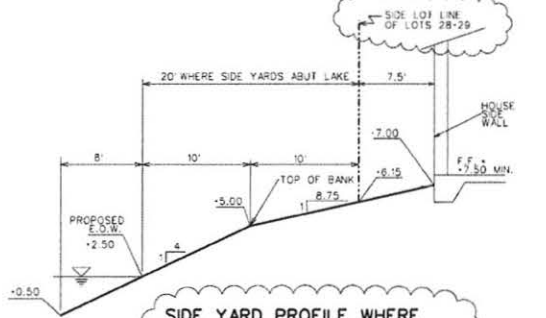
**PAVING AND DRAINAGE SYSTEM DETAILS AND PAVEMENT SECTIONS**

REFLECTIONS IN THE ACRES  
 STKR OLD HIATUS, LLC

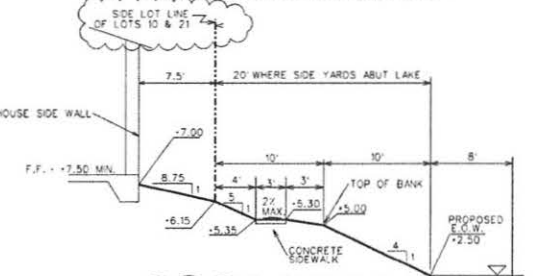
PROJECT NUMBER	SHEET NUMBER
20-01	PD5 OF 6



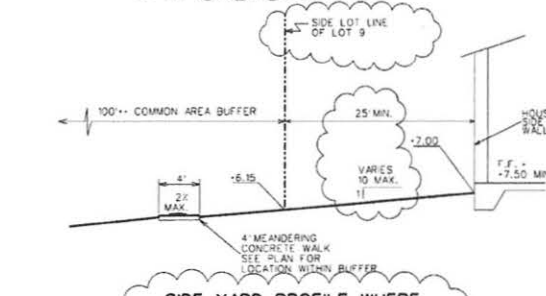
SIDE YARD PROFILE WHERE LOT ABUTS LOT



SIDE YARD PROFILE WHERE LOTS 28-29 ABUT LAKE



SIDE YARD PROFILE WHERE LOTS 10 & 21 ABUT LAKE



SIDE YARD PROFILE WHERE LOT 9 ABUTS COMMON AREA



SIDE YARD PROFILE WHERE LOTS 15 & 16 ABUT COMMON AREA

"THE LAUREL OAK"  
IMPERVIOUS AREA CALCULATIONS

FIRST FLOOR FOOTPRINT AREA (INCL. GARAGE AREA)	2,265 S.F.
COVERED ENTRY AREA	28 S.F.
COVERED TERRACE AREA	90 S.F.
POOL AND PATIO AREA	836 S.F.
DRIVEWAY, WALK & PAD AREA	467 S.F.
TOTAL IMPERVIOUS AREA	3,686 S.F.

"CHESTNUT OAK"  
IMPERVIOUS AREA CALCULATIONS

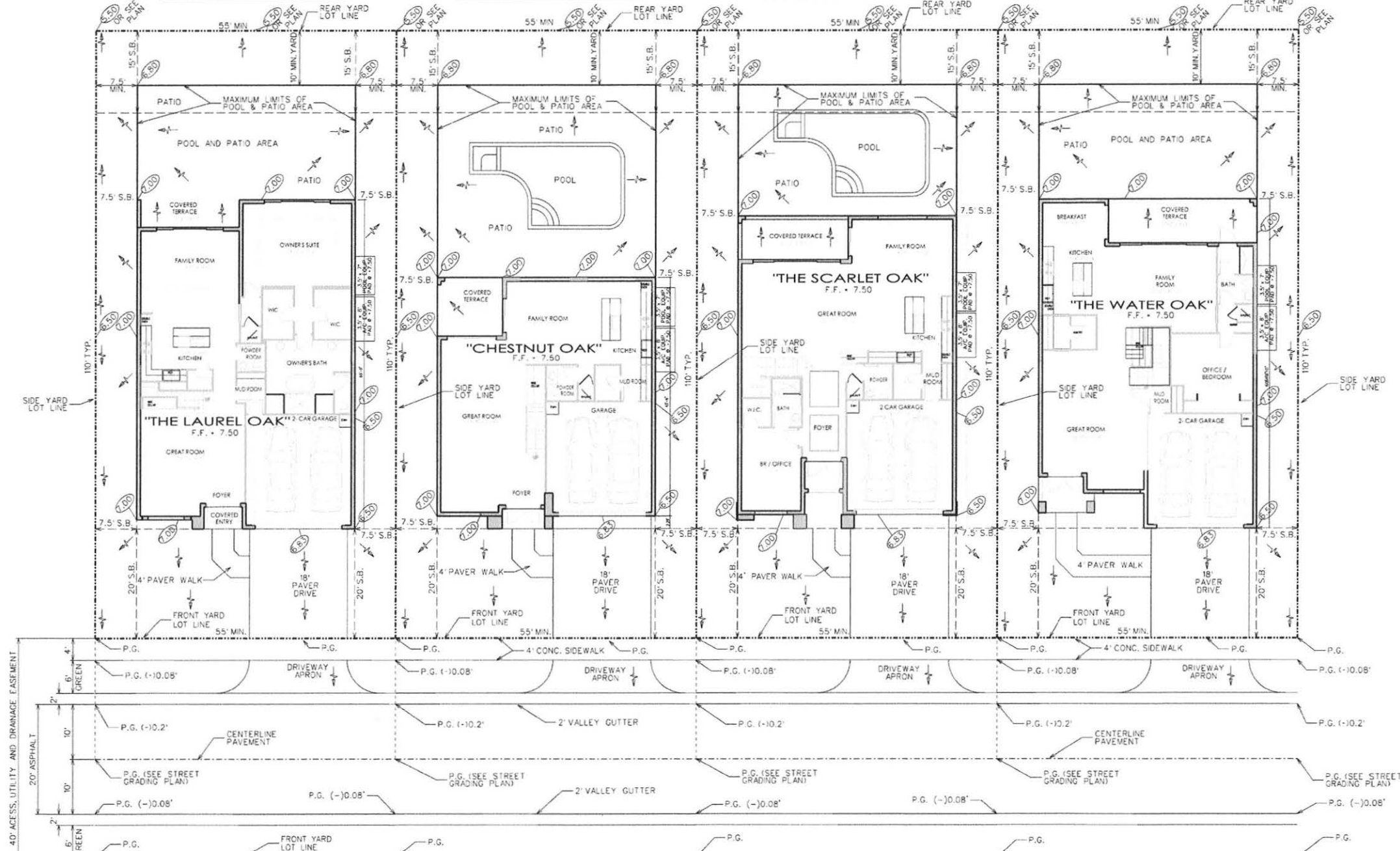
FIRST FLOOR FOOTPRINT AREA (INCL. GARAGE AREA)	1,611 S.F.
COVERED ENTRY AREA	28 S.F.
COVERED TERRACE AREA	128 S.F.
POOL AND PATIO AREA	1,403 S.F.
DRIVEWAY, WALK & PAD AREA	500 S.F.
TOTAL IMPERVIOUS AREA	3,670 S.F.

"THE SCARLET OAK"  
IMPERVIOUS AREA CALCULATIONS

FIRST FLOOR FOOTPRINT AREA (INCL. GARAGE AREA)	1,971 S.F.
COVERED ENTRY AREA	82 S.F.
COVERED TERRACE AREA	160 S.F.
POOL AND PATIO AREA	955 S.F.
DRIVEWAY, WALK & PAD AREA	497 S.F.
TOTAL IMPERVIOUS AREA	3,665 S.F.

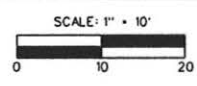
"THE WATER OAK"  
IMPERVIOUS AREA CALCULATIONS

FIRST FLOOR FOOTPRINT AREA (INCL. GARAGE AREA)	2,042 S.F.
COVERED ENTRY AREA	56 S.F.
COVERED TERRACE AREA	216 S.F.
POOL AND PATIO AREA	836 S.F.
DRIVEWAY, WALK & PAD AREA	508 S.F.
TOTAL IMPERVIOUS AREA	3,657 S.F.



- LOT GRADING REQUIREMENTS:**
- ALL ELEVATIONS SHOWN HEREIN ARE INTENDED TO BE MAXIMUM ELEVATIONS WITH A MAXIMUM TOLERANCE OF 0.1 FEET PLUS OR MINUS.
  - THIS PLAN DEPICTS THE TYPICAL 55' X 110' MINIMUM LOT GRADING SCHEME AND MAXIMUM LOT IMPERVIOUS COVERAGE AREA FOR EACH SINGLE-FAMILY MODEL TYPE. THE MAXIMUM IMPERVIOUS COVERAGE INCLUDING BUILDING FOOTPRINT, PATIO/POOL AREAS AND OTHER IMPERVIOUS AREAS SHALL NOT BE INCREASED BEYOND THAT SHOWN HEREIN REGARDLESS OF LOT SIZE OR CONFIGURATION. EXCESS LOT AREA BEYOND THAT OF THE MINIMUM LOT AREA SHALL REMAIN AS SOIL AND/OR LANDSCAPING PERVIOUS AREA ONLY.
  - MINIMUM FINISHED FLOORS SHALL BE +7.50 NAVD 88. STEM WALL OR THICKENED EDGE MONOLITHIC FOOTER FOUNDATIONS SHALL BE USED FOR FINISHED FLOORS ABOVE +7.50 NAVD 88 IN ORDER TO MAINTAIN SIDE YARD ELEVATIONS ALONG THE BUILDING FOOTPRINT AS SHOWN HEREIN.
  - ALL SWALE AND YARD AREAS SHALL BE GRADED 2" TYPICAL BELOW THE PLAN ELEVATION IN PREPARATION FOR SODDING. THESE AREAS ARE TO BE GRADED IN ACCORDANCE WITH PLANTATION ACRES IMPROVEMENT DISTRICT AND CITY REQUIREMENTS.
  - CERTIFIED SURVEY AS-BUILT DRAWINGS OF ALL GRADED AREAS SHALL BE APPROVED BY THE CITY AND THE PLANTATION ACRES IMPROVEMENT DISTRICT AFTER THE INSTALLATION OF IRRIGATION LINES & LANDSCAPING AND PRIOR TO THE PLACEMENT OF SOD.
  - THE PLACEMENT OF LANDSCAPING WITHIN THE SIDE LOT SWALE AREAS SHALL NOT INTERFERE WITH THE STORAGE AND FLOWAGE OF STORMWATER, NOR THE MAINTENANCE OF THESE FACILITIES. ADDITIONAL SURVEY AS-BUILT INFORMATION MAY BE REQUIRED AFTER PLACEMENT OF LANDSCAPING IN ORDER TO VERIFY PROPER CONFIGURATIONS.

TYPICAL LOT LAYOUT & GRADING PLAN FOR EACH MODEL TYPE ON MINIMUM SIZED LOT

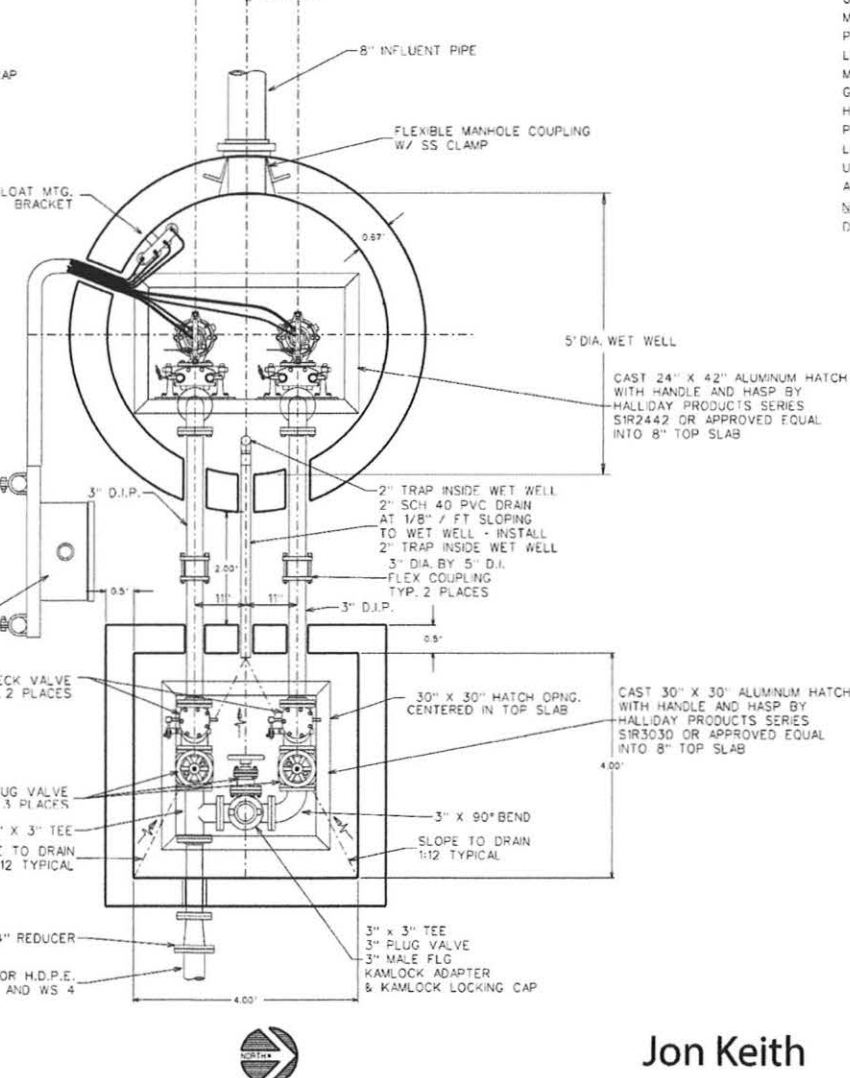
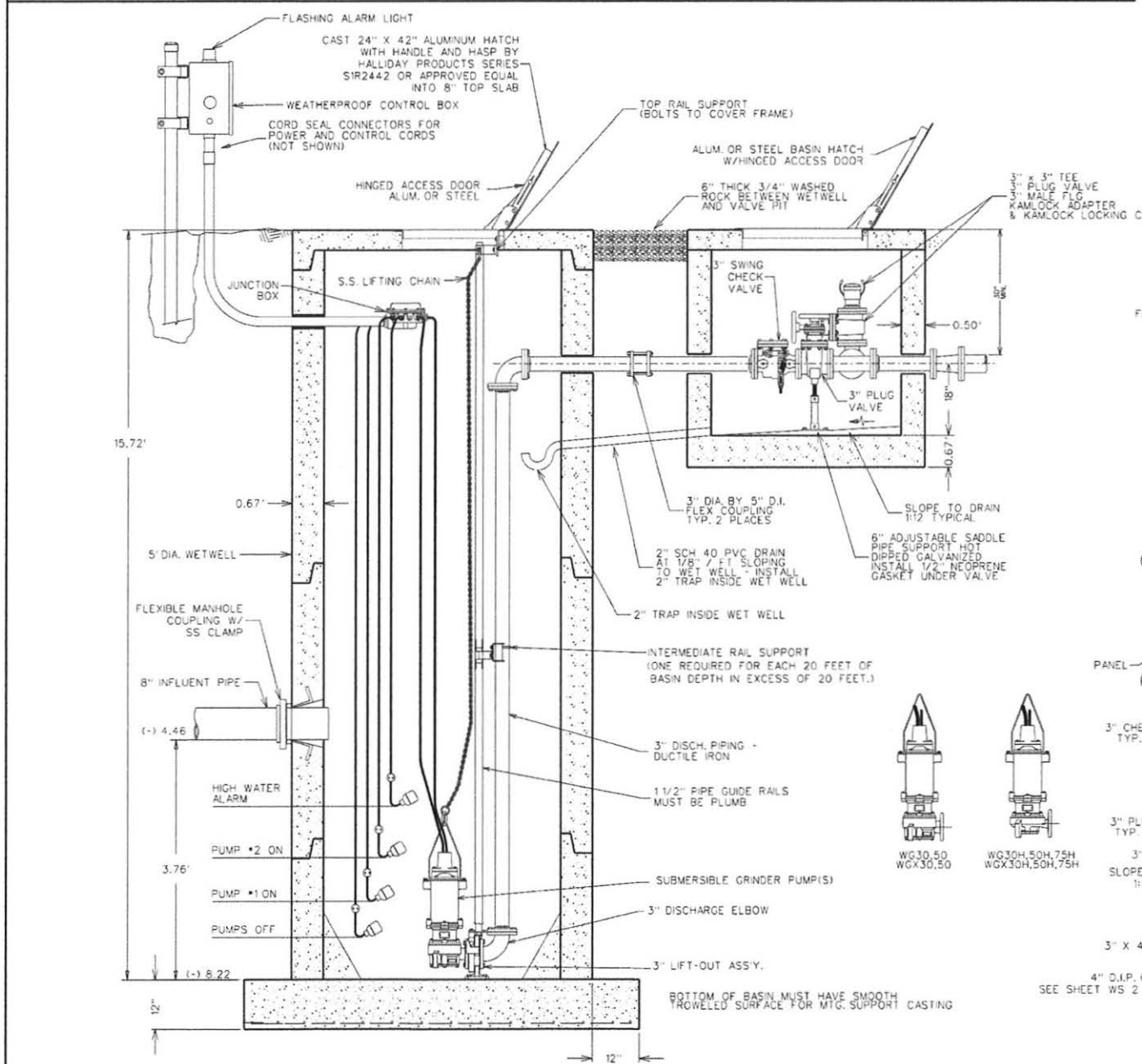
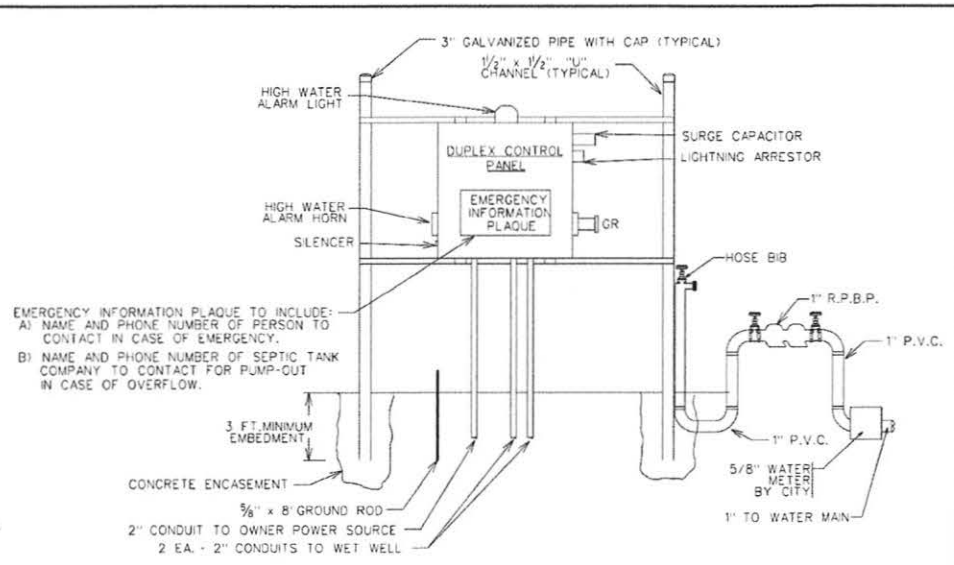
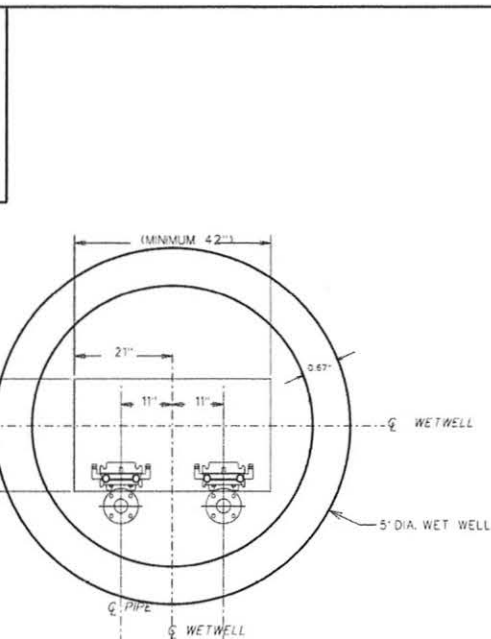
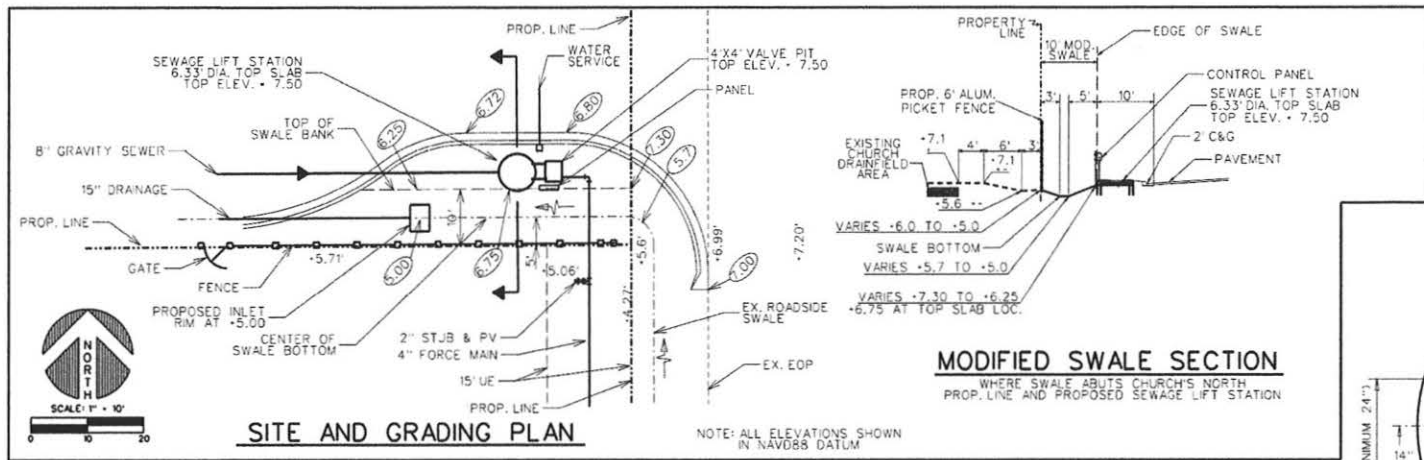


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NOTE: ALL ELEVATIONS SHOWN HEREIN ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

<table border="1"> <tr><td>NO.</td><td>DATE</td><td>BY</td><td>REVISION</td><td>NO.</td><td>DATE</td><td>BY</td><td>REVISION</td></tr> <tr><td>2</td><td>6-17-21</td><td>JWK</td><td>REV. YARD SECTIONS FOR 37 LOT SP</td><td></td><td></td><td></td><td></td></tr> <tr><td>1</td><td>8-31-20</td><td>JWK</td><td>REV. NOTES PER PAID REVIEW</td><td></td><td></td><td></td><td></td></tr> </table>	NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION	2	6-17-21	JWK	REV. YARD SECTIONS FOR 37 LOT SP					1	8-31-20	JWK	REV. NOTES PER PAID REVIEW					Designed by: J.W.K. Date: 4/20 Drawn by: J.W.K. Date: 4/20 Checked by: J.W.K. Date: 4/20	<p><b>JONATHAN W. KEITH, P.A.</b> Consulting Engineers P.O. Box 1017 Boynton Beach, Florida 33425 (954) 914-8109 AUTHORIZATION NUMBER EB-26425</p>	Approved by: JONATHAN W. KEITH Date: _____ Licensed Engineer Number 41052 State of Florida	<p>TYPICAL LOT LAYOUT &amp; GRADING PLAN</p> <p>REFLECTIONS IN THE ACRES</p> <p>STKR OLD HIATUS, LLC</p>	PROJECT NUMBER 20-01  SHEET NUMBER PD6 OF 6
NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION																						
2	6-17-21	JWK	REV. YARD SECTIONS FOR 37 LOT SP																										
1	8-31-20	JWK	REV. NOTES PER PAID REVIEW																										





CONTROL PANEL TO INCLUDE THE FOLLOWING FEATURES (MINIMUM):  
 (NEMA 3R FIBERGLASS) OR (NEMA 4X STAINLESS STEEL ENCLOSURE)  
 GENERATOR RECEPTACLE  
 MAIN & EMERGENCY CIRCUIT BREAKERS  
 PHASE MONITOR (3 PHASE) OR VOLTAGE MONITOR (1 PHASE)  
 LIGHTNING ARRESTOR & SURGE CAPACITOR  
 MOTOR & CONTROL CIRCUIT BREAKERS  
 GFI/CONVENIENCE RECEPTACLE (15 AMP)  
 HIGH WATER ALARM LIGHT, HORN, SILENCER  
 PUMP H-O-A SWITCHES, RUN LIGHTS, AND ELAPSED TIME METERS  
 LEVEL INDICATING LIGHTS WITH TEST SWITCHES MOUNTED ON DEADFRONT DOOR  
 U.L. APPROVAL AND LABELED AS "ENCLOSED INDUSTRIAL CONTROL PANEL" PER SECTION 50B  
 AUTOMATIC ALTERNATION OF PUMPS ON SUCCESSIVE PUMP CYCLE.

NOTES:  
 DISCONNECT IS REQUIRED WITHIN SIGHT (OR 50 FT. MAXIMUM) FROM PANEL LOCATION.

PUMP PERFORMANCE CHARACTERISTICS	
FLOW: 80 GPM	TOT: 103.5 FT.
PUMP HP: 7.5	CABLE LENGTH: 30'
ELECTRICAL SERVICE:	230 V 3 PHASE

LETTER	DESCRIPTION	ELEVATION
A	WET WELL TOP SLAB	7.50 MIN.
B	INFLUENT INVERT	(-14.46)
C	HIGH WATER ALARM	(-14.46)
D	LAG PUMP "ON"	(-14.96)
E	LEAD PUMP "ON"	(-15.46)
F	BOTH PUMPS "OFF"	(-16.72)
G	WET WELL INVERT	(-13.34)
H	WET WELL DEPTH	15.72 FT.
I	WET WELL DIAMETER	60 IN.
J	DISCHARGE DIAMETER	3 IN.
K	FORCE MAIN DIAMETER	4 IN.
L	FORCE MAIN COVER DEPTH	30 IN.
M	DISCHARGE PIPE C/L	33 IN.
N	WET WELL OPENING	24" X 42"
O	VALVE PIT OPENING	30" X 30"
P	PANEL C/L	48 IN.
Q	INFLUENT (DIA.)	8 IN.

- PRECAST CONCRETE SECTIONS**
1. PRECAST CONCRETE SECTIONS SHALL CONFORM TO THE ASTM SPECIFICATIONS FOR PRECAST REINFORCED CONCRETE MANHOLE RISERS AND TOPS, DESIGNATION "C-478"-LATEST REVISION, WITH THE FOLLOWING EXCEPTIONS AND ADDITIONAL REQUIREMENTS: TYPE II CEMENT SHALL BE USED.
  2. SECTIONS SHALL BE STEAM CURED AND SHALL NOT BE SHIPPED UNTIL AT LEAST FIVE (5) DAYS AFTER CASTING.
  3. ACCEPTANCE OF THE SECTIONS WILL BE ON THE BASIS OF MATERIAL TESTS, FINISHED QUALITY, AND INSPECTIONS OF THE COMPLETED PRODUCT.
  4. JOINT MATERIAL IN RISER SECTIONS SHALL BE OF THE BITUMASTIC TYPE AS MANUFACTURED BY RAM-NEK OR EQUAL.
  5. NO MORE THAN TWO LIFT HOLES MAY BE CAST OR DRILLED IN EACH SECTION.

NOTE:  
 DETAILS SHOWN HEREIN WERE PROVIDED BY PENTAR MYERS. CONTRACTOR SHALL VERIFY ALL DIMENSIONAL & SPECIFICATION REQUIREMENTS WITH THE AUTHORIZED PUMP CONTROL PANEL AND PRECAST MANUFACTURE AND PROVIDE ALL NECESSARY SHOP DRAWINGS TO THE ENGINEER OF RECORD FOR APPROVAL PRIOR TO ORDERING ALL EQUIPMENT AND STRUCTURES.

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**JONATHAN W. KEITH, P.A.**  
 Consulting Engineers  
 P.O. Box 1017  
 Boynton Beach, Florida 33425 (954) 914-8109  
 AUTHORIZATION NUMBER EB-26425

Designed by: J.W.K.	Date: 4/20
Drawn by: J.W.K.	Date: 4/20
Checked by: J.W.K.	Date: 4/20

NO.	DATE	BY	REVISION
1	8/31/20	JWK	ADD GRADING PLAN & SECTION PER PAD REVIEW

**GENERAL NOTES:**

- 1. ALL MATERIALS AND CONSTRUCTION WITHIN THE LIMITS OF THE SUBJECT PROPERTY SHALL CONFORM TO THE STANDARDS A SPECIFICATION OF THE CITY OF PLANTATION, BROWARD COUNTY, & THE PLANTATION ACRES IMPROVEMENT DISTRICT WHERE APPLICABLE.
- 2. IT SHALL BE THE DUTY OF THE CONTRACTOR, UPON EXECUTION OF THE CONTRACT, TO INFORM ALL PUBLIC SERVICES COMPANIES, INDIVIDUALS, AND ANY OTHERS OWNING OR CONTROLLING AREAS OR FACILITIES OR STRUCTURES WITHIN THE LIMITS OF THE PROJECT WHICH MAY CONFLICT WITH CONSTRUCTION OF THIS PROJECT, INCLUDING BUT NOT LIMITED TO: UTILITIES, STRUCTURES, SURVEY MARKERS AND OTHER FACILITIES. ALSO, CONTRACTOR SHALL INSPECT SITE AND VERIFY IF OTHER UTILITIES/STRUCTURES ARE PRESENT ON THE SITE OTHER THAN THOSE SHOWN ON THE PLANS.
- 3. THE CONTRACTOR IS REQUIRED TO FULLY INFORM HIMSELF CONCERNING THE LOCATIONS OF PUBLIC AND PRIVATE FACILITIES AND STRUCTURES ON, UNDER, OR OVER THE PROJECT WHICH MAY OR MAY NOT REQUIRE RELOCATION, ADJUSTMENT, AND/OR RECONSTRUCTION, AND WHICH MAY INTERFERE WITH HIS OPERATIONS, AND IT IS ASSUMED THAT HE HAS PREPARED HIS BID AND ENTERED INTO THE CONTRACT TO FULLY UNDERSTAND THE "CONDITIONS" TO BE ENCOUNTERED AND HIS RESPONSIBILITY THEREWITH. THE OWNER HAS SHOWN ON THE DRAWINGS SUCH FACILITIES AND STRUCTURE THAT ARE OBVIOUS FROM A VISIT TO THE SITE, THE LOCATIONS OF WHICH HAVE BEEN OBTAINED FROM EXISTING MAPS AND RECORDS AND ARE, THEREFORE, SHOWN IN APPROXIMATE LOCATIONS. SUCH NOTATIONS ON THE DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY IN THIS RESPECT. THE OWNER SHALL NOT BE HELD RESPONSIBLE FOR ANY OMISSION OR FAILURE TO GIVE NOTICE TO THE CONTRACTOR OF ANY FACILITY OR STRUCTURE ON, UNDER, OR OVER THE PROJECT.
- 4. CONTRACTOR SHALL PROTECT BENCHMARKS, UTILITIES, EXISTING TREES, SHRUBS AND OTHER LANDSCAPE FEATURES NECESSARY FOR PRESERVATION WITH TEMPORARY FENCING OR BARRICADES SATISFACTORY TO THE ENGINEER. NO MATERIAL SHALL BE STORED OR CONSTRUCTION OPERATION CARRIED ON WITHIN 4 FEET OF ANY TREE TO BE SAVED OR WITHIN THE TREE PROTECTION FENCE.
- 5. THE CONTRACTOR SHALL SAVE HARMLESS THE OWNER FROM ANY EXPENSES INCURRED IN THE RELOCATION, PRESERVATION, OR RECONSTRUCTION OF EXISTING UTILITIES AND EXISTING STRUCTURES WITHIN THE WORK SITE AND SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
- 6. THE LOCATION OF THE EXISTING UTILITIES AS SHOWN ON THE PLANS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS, SIZE, MATERIAL, AND ELEVATION OF THE EXISTING FACILITIES PRIOR TO CONSTRUCTION AND CONTACT THE ENGINEER-OF-RECORD SHOULD THERE BE ANY DISCREPANCIES WITH THE APPROVED CONSTRUCTION DRAWINGS.
- 7. PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE CITY OF PLANTATION, P.A.I.D., OWNER, CONTRACTOR ENGINEER OF RECORD AND ALL INTERESTED PARTIES INVOLVED WITH THE CONSTRUCTION OF THE IMPROVEMENTS. CONTRACTOR SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION PLANS ON-SITE. THE PLANS ARE TO BE MADE AVAILABLE TO THE CITY ENGINEER OR HIS DESIGNEE UPON REQUEST.
- 8. CONTRACTOR SHALL INFORM ALL COMPANIES, INDIVIDUALS AND OTHERS OWNING OR CONTROLLING FACILITIES OR STRUCTURES WITHIN THE LIMITS OF THE WORK WHICH HAVE TO BE RELOCATED, ADJUSTED OR RECONSTRUCTED IN SUFFICIENT TIME FOR THE UTILITY OR ORGANIZATION TO COMPLETE SUCH WORK IN CONJUNCTION WITH OR IN ADVANCE OF THE CONTRACTOR'S OPERATION.
- 9. CONTRACTOR SHALL PROVIDE TO OWNER AND ENGINEER WITH CERTIFIED AS-BUILT INFORMATION PERTAINING TO THE LOCATION AND ELEVATION OF CONSTRUCTED IMPROVEMENTS BY A FLORIDA REGISTERED LAND SURVEYOR. AS-BUILT INFORMATION SHALL INCLUDE ALL STRUCTURES, PIPE, FITTINGS, SUBGRADE, BASE AND PAVEMENT. COMPACTION TESTING SHALL BE PERFORMED BY A FLORIDA STATE CERTIFIED SOILS TESTING LABORATORY.
- 10. ALL DEVIATIONS FROM THE PLANS MUST BE APPROVED BY THE OWNER, ENGINEER OF RECORD AND PERMITTING AGENCIES WITH JURISDICTION ON THE WORK.
- 11. CONTRACTOR MUST NOTIFY OWNER, ENGINEER, AND CITY AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION AND ANY REQUIRED INSPECTIONS AND TESTING.
- 12. ALL UNDERGROUND IMPROVEMENTS MUST BE INSPECTED BY THE ENGINEER AND PERMITTING AGENCIES PRIOR TO BACKFILLING UNLESS OTHERWISE INSTRUCTED BY THE ENGINEER.
- 13. A COPY OF THE FOLLOWING PUBLICATIONS MUST BE AVAILABLE AT THE SITE DURING CONSTRUCTION:
  - a. FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION.
  - b. FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST REVISION.
  - c. UNITED STATES DEPARTMENT OF TRANSPORTATION - FEDERAL HIGHWAY ADMINISTRATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST REVISION.

**CITY OF PLANTATION GENERAL CONSTRUCTION NOTES:**

- 1. NO CONNECTIONS FOR THE PURPOSE OF OBTAINING WATER SUPPLY DURING CONSTRUCTION SHALL BE MADE TO ANY FIRE HYDRANT OR BLOW-OFF STRUCTURE WITHOUT FIRST OBTAINING PERMISSION AND A CONSTRUCTION METER FROM THE CITY OF PLANTATION.
- 2. THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING, MOVING AND RELOCATING OR REPLACING ALL WATER SERVICES OR SEWER LATERALS WHICH ARE ENCOUNTERED DURING EXCAVATION. THE CONTRACTOR SHALL SUBMIT A WRITTEN PLAN FOR WATER SERVICE AND WASTEWATER SERVICE DISRUPTION FOR APPROVAL 7 (SEVEN) CALENDAR DAYS PRIOR TO THE ANTICIPATED DISRUPTION. THE CONTRACTOR SHALL NOTIFY THE PROPERTY OWNERS 48 HOURS IN ADVANCE OF ANY WORK ON THEIR SERVICES. THIS WORK SHALL BE CONSIDERED INCIDENTAL.
- 3. THE CONTRACTOR MUST USE EXTREME CARE TO AVOID DAMAGE OR DISRUPTION TO ANY EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. ALL PLAN LOCATIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED. CONTRACTOR IS TO CONTACT SUNSHINE STATE ONE CALL OF FLORIDA AT 1-800-432-4770 AND ALL OTHER PARTICIPATING UTILITIES 2 FULL BUSINESS DAYS PRIOR TO CONSTRUCTION FOR FIELD MARKUP LOCATIONS OF EXISTING UTILITIES AND FACILITIES.
- 4. THE CONTRACTOR MUST INFORM THE CITY AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION, IN WRITING IF ANY CONFLICT IS DISCOVERED DURING POT HOLE OPERATIONS FOR CLARIFICATION BY THE CITY.
- 5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE PLANTATION UTILITIES DEPARTMENT AT LEAST TWO (2) BUSINESS DAYS IN ADVANCE TO COORDINATE ANY ACTIVITY TO BE PERFORMED BY THE CITY'S UTILITIES DEPARTMENT.
- 6. CONTRACTOR SHALL NOT DISTURB AREAS INSIDE EXISTING RIGHTS-OF-WAY WITHOUT NOTIFICATION TO THE ENTITY HAVING JURISDICTION.
- 7. IN GENERAL, EXISTING STRUCTURES AND UTILITIES ARE NOTED AS EXISTING AND/OR SHOWN IN THIN LINES. NEW CONSTRUCTION IS IN HEAVY LINES AND/OR UNDERLINED.
- 8. ALL WORK WITHIN STATE DEPARTMENT OF TRANSPORTATION (FDOT) RIGHT-OF-WAYS SHALL BE IN CONFORMANCE WITH FDOT SPECIFICATIONS AND PERMIT REQUIREMENTS.
- 9. ALL WORK WITHIN BROWARD COUNTY RIGHT-OF-WAYS SHALL BE IN CONFORMANCE WITH THE BROWARD COUNTY MINIMUM STANDARDS AND/OR REQUIREMENTS.
- 10. CONTRACTOR SHALL COMPLY WITH ALL LOCAL CITY, COUNTY AND STATE REGULATIONS PERTAINING TO THE CLOSING OF PUBLIC STREETS FOR USE OF TRAFFIC DURING CONSTRUCTION.
- 11. CONTRACTOR SHALL PREPARE AND SUBMIT MAINTENANCE OF TRAFFIC (MOT) PLANS TO FDOT, CITY OF PLANTATION, BROWARD COUNTY AS REQUIRED FOR WORK TO BE DONE WITHIN THEIR R/W PRIOR TO COMMENCEMENT OF WORK. SPECIFIC AGENCY MOT REQUIREMENTS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 12. EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE BASED UPON RECORD DRAWINGS PROVIDED BY THE CITY AND SHALL BE FIELD VERIFIED AS TO BOTH HORIZONTAL AND VERTICAL LOCATION. CONTRACTOR SHALL CALL 811 FOR UTILITY LOCATION PRIOR TO COMMENCEMENT OF CONSTRUCTION.

**CITY OF PLANTATION GENERAL CONSTRUCTION NOTES (CONTINUED):**

- 13. THE GENERAL INTENT IS TO PROVIDE SEWER SERVICE LATERALS FOR EACH PROPERTY. ALL LATERAL LOCATIONS SHALL BE FIELD ADJUSTED.
- 14. CONTRACTOR SHALL MAINTAIN ACCESS TO PRIVATE PROPERTY AT ALL TIMES.
- 15. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAY OR WALKWAY SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
- 16. TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS SHALL NOT BE LEFT OPEN DURING NIGHT TIME HOURS WITHOUT ADEQUATE PROTECTION.
- 17. CONTRACTOR SHALL PROMPTLY REPAIR AND RESTORE EXISTING PAVEMENT, SIDEWALKS, CURBS, DRIVEWAYS, PIPES, RESIDENTIAL AND COMMERCIAL SPRINKLER LINES, CONDUIT, CABLES, ETC. AND LANDSCAPE AREAS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES.
- 18. CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AS REQUIRED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT AND/OR WHEN REQUIRED FOR PUBLIC SAFETY.
- 19. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF WORK, FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES FROM DAMAGE OR DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
- 20. LOCATION OF AIR RELEASE VALVES MAY BE FIELD ADJUSTED BY THE ENGINEER OR CITY OF PLANTATION AS NECESSARY.
- 21. CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, TIE-INS, HAND-HOLES, RISERS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAPPED WITH ASPHALT.
- 22. EXISTING TRAFFIC SIGNS SHALL BE RESET UPON COMPLETION PER BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS. COST SHALL BE CONSIDERED INCIDENTAL. CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED TRAFFIC SIGNAL LOOPS PER BROWARD COUNTY TRAFFIC ENGINEERING SPECIFICATIONS; COST SHALL BE INCIDENTAL.
- 23. CONTRACTOR SHALL RESTORE EXISTING PAVEMENT AND PAVEMENT MARKINGS/SIGNAGE TO ORIGINAL PRE-CONSTRUCTION CONDITION OR AS OTHERWISE SPECIFIED IN CONTRACT DOCUMENTS. THIS WORK SHALL BE CONSIDERED INCIDENTAL.
- 24. ALL CONSTRUCTION WITHIN FDOT R/W MUST CONFORM WITH FDOT SPECIFICATIONS, STANDARDS, AND PERMIT REQUIREMENTS. NO WORK SHALL COMMENCE WITHIN FDOT R/W'S WITHOUT AN FDOT PERMIT. FULL LANE WIDTH RESTORATION TO MATCH EXISTING PAVEMENT SECTION IS REQUIRED IN ACCORDANCE WITH FDOT STANDARDS FOR PROPOSED WORK WITHIN FDOT R/W.
- 25. TWO EXISTING WATER SERVICES HAVE BEEN PROVIDED TO THE PROPERTY. CONTRACTOR SHALL FIELD LOCATE THESE LATERALS AS CONSTRUCTION PROGRESSES AND NOTIFY THE CITY UTILITIES DEPARTMENT AND ENGINEER TO DETERMINE HOW SAID SERVICES WILL BE REMOVED AFTER CONSTRUCTION.
- 26. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND ELEVATIONS BEFORE STARTING CONSTRUCTION.
- 27. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.

**GENERAL NOTES - TRAFFIC CONTROL PLAN**

- 1. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLANS FOR THE PROJECT WHICH SHALL COMPLY WITH THE LATEST EDITION OF THE ROADWAY & TRAFFIC DESIGN STANDARDS, INDEX NO. LATEST EDITION OF THE ROADWAY AND TRAFFIC DESIGN STANDARDS, INDEX NO. 600-EGO, MUTCD AND THE STANDARD SPECIFICATIONS. THE CONTRACTOR'S RESPONSIBILITY SHALL BE NO MORE THAN TWO (2) HOURS AND SHALL RESTORE ALL MALFUNCTIONING TRAFFIC SIGNAL EQUIPMENT TO ITS LEVEL OF OPERATION PRIOR TO THE MALFUNCTIONING WITHIN TWENTY-FOUR (24) HOURS. THE CONTRACTOR SHALL PROVIDE AT HIS EXPENSE TEMPORARY TRAFFIC CONTROL DEVICES, FLAGGER PERSONNEL AND LAW ENFORCEMENT PERSONNEL AS NECESSARY TO MAINTAIN A SAFE AND EFFICIENT FLOW OF TRAFFIC AT THE AFFECTED WORK ZONE. THE ENGINEER OR THE CITY OF PLANTATION SHALL APPROVE ALL MODIFICATIONS PRIOR TO THEIR IMPLEMENTATION.
- 2. THE CONTRACTOR SHALL MAINTAIN PROPER OPERATION OF ALL TRAFFIC SIGNAL LOOP ASSEMBLIES AND LOOP DETECTORS WITHIN THE PROJECT LIMITS. THE CONTRACTOR SHALL CORRECT ALL LOOP ASSEMBLY/DETECTOR MALFUNCTIONS WITHIN 24 HOURS OF NOTIFICATION OF SUCH MALFUNCTIONS BY THE ENGINEER.
- 3. THE AGENCY RESPONSIBLE FOR MAINTENANCE OF THE TRAFFIC SIGNALS AND RELATED EQUIPMENT IS BROWARD COUNTY TRAFFIC ENGINEERING.
- 4. A REGULATORY SPEED OF 25 MPH SHALL BE POSTED WITHIN THE LIMITS OF THE WORK ZONE.
- 5. EXISTING SIGNS AND PAVEMENT MARKINGS THAT CONFLICT WITH CONSTRUCTION SIGNS AND MARKINGS SHALL BE REMOVED DURING CONSTRUCTION. ALL EXISTING SIGNS THAT ARE REMOVED SHALL BE STOCKPILED IN A SECURE PLACE AND REINSTALLED AFTER CONSTRUCTION; REMOVE AND REPLACE ANY GROUND MOUNT SIGN BY USE OF INDEX NO. 611.
- 6. THE CONTRACTOR SHALL MAINTAIN EXISTING DRAINAGE PATTERNS AND PREVENT ADVERSE FLOODING OF THE TRAVEL LANES DURING CONSTRUCTION.
- 7. THE CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM THE CITY OF PLANTATION FOR ANY AND ALL CONSTRUCTION ACTIVITIES TO BE PERFORMED AT NIGHT. NO LANE CLOSURE SHALL BE ALLOWED BETWEEN THE HOURS OF 8:00 AM TO 8:00 PM AND 4:00 PM TO 7:00 PM, MONDAY THROUGH FRIDAY UNLESS APPROVED BY THE ENGINEER.
- 8. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY TWO (2) BUSINESS DAYS IN ADVANCE OF ANY EXCAVATION INVOLVING ITS UTILITIES SO THAT A COMPANY REPRESENTATIVE CAN BE PRESENT. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. SEE SPECS FOR LIST OF UTILITY COMPANIES.
- 9. THE AGENCY RESPONSIBLE FOR MAINTENANCE OF THE TRAFFIC SIGNALS AND RELATED EQUIPMENT IS BROWARD COUNTY TRAFFIC ENGINEERING.
- 10. CONTRACTOR SHALL PREPARE AND SUBMIT MAINTENANCE OF TRAFFIC PLAN (MOT) WHERE REQUIRED BY FEDERAL, STATE, COUNTY, OR LOCAL AGENCIES HAVING JURISDICTION. CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND PERMITS ASSOCIATED WITH THE MOT'S. ALL MOT'S TO BE ATIS CERTIFIED.
- 11. THE CONTRACTOR SHALL ALSO COORDINATE THE CONSTRUCTION SCHEDULE WITH FDOT, BROWARD COUNTY AND THE CITY OF PLANTATION TO AVOID LANE CLOSURES WHICH WOULD ADVERSELY AFFECT TRAFFIC DURING RUSH HOUR.

**GENERAL NOTES AND COMMUNICATIONS NOTES - R.C.T.F.D.**

- ALL PARTIES NOTE THE FOLLOWING:**
- 1. DIRECTIONAL BORES, UTILITY CONNECTIONS, THE PLACEMENT OF MOT AND ADVANCE SIGNAGE MAY BY THEIR PLACEMENT, DAMAGE/DESTROY THE COMMUNICATIONS CABLE/CONDUIT LOCATED INSIDE AND OUTSIDE THE PROJECT AREA. ADDITIONALLY, CURBS/GUTTERS/SIDEWALK REMOVAL/PLACEMENT, RELOCATION OF TREES, LANDSCAPING ACTIVITIES AND IRRIGATION ACTIVITIES ARE POTENTIAL CAUSES FOR DAMAGE TO BCT'S COMMUNICATION CABLE/CONDUIT. ALL PARTIES SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN PROXIMITY TO THE COMMUNICATIONS CABLE/CONDUIT.
- 2. ANY ABOVE PROJECT ACTIVITY, INCIDENTAL OR OTHERWISE, WHICH IMPACTS OR DAMAGES THE COMMUNICATIONS CABLE/CONDUIT, SHALL BE SUBJECT TO THE FOLLOWING NOTES AND CONDITIONS BELOW:
  - IF THERE ARE COPPER INTERCONNECT CABLE/S WITHIN YOUR PROJECT LIMITS OR WITHIN 1500 FEET OF YOUR PROJECT LIMITS, CONTACT THE TRAFFIC SIGNAL TECHNICIAN @ ATTECOMMUNICATIONS@BROWARD.ORG OR 954-847-2761.
  - IF THERE ARE FIBER OPTIC CABLE/S WITHIN YOUR PROJECT LIMITS OR WITHIN 1500 FEET OF YOUR PROJECT LIMITS CONTACT THE COMMUNICATIONS MANAGER AT TECOMMUNICATIONS@BROWARD.ORG OR 954-847-2745.ALL BCTED COMMUNICATIONS CABLES/CONDUIT SHALL BE LOCATED A MINIMUM OF 48 HOURS IN ADVANCE.

**62-555.34 LOCATION OF PUBLIC WATER SYSTEM MAINS.**

- (1) HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS SHALL BE AS FOLLOWS:
  - (A) RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, PIPE OR CONVEYING RECLAIMED WATER REGULATED UNDER PART 10 OF CHAPTER 62-610, F.A.C.
  - (B) NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET AND PREFERABLY TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
  - (C) NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN OR PIPE OR CONVEYING RECLAIMED WATER REGULATED UNDER PART 10 OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
  - (D) NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM AS DEFINED IN SECTION 381.006(2), F.S., AND RULE 64E-6.002, F.A.C.
- (2) VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES:
  - (A) NEW OR RELOCATED UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST TEN FEET ABOVE THE TOP OF THE OTHER PIPELINE. HOWEVER, IT IS PERMITTED TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE IF IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
  - (B) NEW OR RELOCATED UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID AT LEAST TEN FEET ABOVE THE TOP OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
  - (C) AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B), ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE LOCATED AT LEAST TEN FEET ABOVE THE TOP OF THE OTHER PIPELINE. AT SUCH CROSSINGS THE PIPES SHALL BE ARRANGED SO THAT ALL WATER VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS OR PIPELINES AND PRESSURE-TYPE SANITARY SEWERS, WASTEWATER OR STORMWATER FORCE MAINS OR PIPELINES SHALL BE LAID UNDER PART 10 OF CHAPTER 62-610, F.A.C. AT LEAST SIX FEET FROM JOINTS OF GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER OR STORMWATER FORCE MAINS OR PIPELINES AND RECLAIMED WATER NOT REGULATED UNDER PART 10 OF CHAPTER 62-610, F.A.C.
- (3) SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES:
  - (A) NO WATER MAIN SHALL PASS THROUGH OR COME INTO CONTACT WITH ANY PART OF A SANITARY SEWER MANHOLE.
  - (B) EFFECTIVE AUGUST 28, 2003, WATER MAINS SHALL NOT BE CONSTRUCTED OR ALTERED TO PASS THROUGH OR COME INTO CONTACT WITH ANY PART OF A SANITARY SEWER MANHOLE WHERE THERE IS NOT A TECHNICAL, FEASIBLE OR ECONOMICALLY SENSIBLE TO CONFORM WITH THIS REQUIREMENT (WHERE THERE IS A CONFLICT IN THE ROUTING OF A WATER MAIN THROUGH A SANITARY SEWER MANHOLE, THE CONTRACTOR SHALL ALLOW EXEMPTIONS FROM THESE REQUIREMENTS. THE DEPARTMENT SHALL ALLOW CONSTRUCTION OF CONFLICT MANHOLES, BUT SUCH CONSTRUCTION SHALL BE PERMITTED ONLY WHERE THE CONTRACTOR MANHOLES MUST FIRST OBTAIN A SPECIFIC PERMIT FROM THE DEPARTMENT WHICH MUST ACCOMPANY THE PRELIMINARY DESIGN REPORT OR DRAWINGS, SPECIFICATIONS AND DESIGN DATA ACCOMPANYING THE PERMIT APPLICATION THE FOLLOWING:
    - TECHNICAL OR ECONOMIC JUSTIFICATION FOR EACH CONFLICT MANHOLE.
    - A STATEMENT IDENTIFYING THE PARTY RESPONSIBLE FOR MAINTAINING EACH CONFLICT MANHOLE.
    - ASSURANCE OF COMPLIANCE WITH THE DESIGN AND CONSTRUCTION REQUIREMENTS IN SUB-PARAGRAPHS A THROUGH D, BELOW.
  - (C) EACH WATER MAIN PASSING THROUGH A CONFLICT MANHOLE SHALL HAVE A FLEXIBLE, WATER-TIGHT JOINT ON EACH SIDE OF THE MANHOLE TO ACCOMMODATE DIFFERENTIAL SETTLING BETWEEN THE MAIN AND THE MANHOLE.
  - (D) WITHIN EACH CONFLICT MANHOLE, THE WATER MAIN PASSING THROUGH THE MANHOLE SHALL BE INSTALLED IN A WATER-TIGHT CASING PIPE HAVING HIGH IMPACT STRENGTH (I.E., 0.25-INCH THICK DUCTILE IRON PIPE) AT LEAST EQUAL TO THAT OF 0.25-INCH THICK DUCTILE IRON PIPE).
  - (E) EACH CONFLICT MANHOLE SHALL HAVE AN ACCESS OPENING, AND SHALL BE SIZED TO ALLOW FOR EASY CLEANING OF THE MANHOLE.
  - (F) CRACKS SHALL BE INSTALLED AT ALL STORM SEWER INLETS UPSTREAM OF EACH CONFLICT MANHOLE TO PREVENT LARGE OBJECTS FROM ENTERING THE MANHOLE.
- (4) SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND RECLAIMED WATER TREATMENT AND DISPOSAL SYSTEMS:
  - (A) FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND RECLAIMED WATER TREATMENT AND DISPOSAL SYSTEMS SHALL BE LOCATED SO THAT THE DRAIN IS AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART 10 OF CHAPTER 62-610, F.A.C. AT LEAST THREE FEET AND PREFERABLY TEN FEET FROM ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART 10 OF CHAPTER 62-610, F.A.C. AT LEAST TEN FEET FROM AN EXISTING OR PROPOSED ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM AS DEFINED IN SECTION 381.006(2), F.S., AND RULE 64E-6.002, F.A.C.
- (5) EXCEPTIONS WHERE IT IS NOT TECHNICALLY FEASIBLE OR ECONOMICALLY SENSIBLE TO COMPLY WITH THE REQUIREMENTS IN SUB-PARAGRAPHS (1) THROUGH (4), ABOVE, THE DEPARTMENT SHALL ALLOW EXCEPTIONS TO THESE REQUIREMENTS. SUPPLIERS OF WATER OR CONSTRUCTION PERMITS SHALL PROVIDE SUPPLIERS OF WATER OR CONSTRUCTION PERMITS THAT PROVIDE A SIMILAR LEVEL OF PROTECTION AND PUBLIC HEALTH PROTECTION, ACCEPTABLE ALTERNATIVE CONSTRUCTION FEATURES INCLUDE THE FOLLOWING:
  - (A) WHERE AN UNDERGROUND WATER MAIN IS BEING LAID LESS THAN THE REQUIRED MINIMUM HORIZONTAL DISTANCE FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATER MAIN IS CROSSING ANOTHER PIPELINE AND JOINTS ARE LOCATED AT THE POINT OF CROSSING, THE REQUIRED MINIMUM DISTANCE FROM JOINTS IN THE OTHER PIPELINE:
    - USE OF PRESSURE-RATED PIPE CONFORMING TO THE AMERICAN WATER WORKS ASSOCIATION STANDARDS INCORPORATED INTO THE REVISED IALC FOR THE OTHER PIPELINE IF IT IS A GRAVITY- OR VACUUM-TYPE PIPELINE.
    - USE OF WELDED, FUSED, OR OTHERWISE RESTRAINED JOINTS FOR EITHER THE WATER MAIN OR THE OTHER PIPELINE, OR
    - USE OF WATER-TIGHT CASING PIPE OR CONCRETE ENCASMENT AT LEAST FOUR INCHES THICK FOR EITHER THE WATER MAIN OR THE OTHER PIPELINE.
  - (B) WHERE AN UNDERGROUND WATER MAIN IS BEING LAID LESS THAN THREE FEET HORIZONTALLY FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATER MAIN IS CROSSING ANOTHER PIPELINE, THE WATER MAIN SHALL BE LAID LESS THAN THE REQUIRED MINIMUM VERTICAL DISTANCE FROM THE OTHER PIPELINE.

4. (CONTINUED)

- 1. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH THICK DUCTILE IRON PIPE) OR CONCRETE ENCASMENT AT LEAST FOUR INCHES THICK FOR THE WATER MAIN; AND
- 2. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH THICK DUCTILE IRON PIPE) OR CONCRETE ENCASMENT AT LEAST FOUR INCHES THICK FOR THE OTHER PIPELINE IF IT IS NEW AND IS CONVEYING WASTEWATER OR RECLAIMED WATER.
- 5. ALL PAVEMENT RESTORATION TO BE MADE IN ACCORDANCE WITH THE CITY, COUNTY, OR STATE OF FLORIDA DOT SPECIFICATIONS, WHERE APPLICABLE.
- 6. COMPLETE "AS-BUILT" INFORMATION RELATIVE TO MANHOLES, VALVES, SERVICES FITTINGS, LENGTH OF PIPE, AND THE LIKE, SHALL BE ACCURATELY RECORDED BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER PRIOR TO FINAL ACCEPTANCE OF THE WORK. ALL ELEVATIONS SHALL BE TAKEN BY AN INDEPENDENT REGISTERED SURVEYOR AND SHOWN ON THE AS-BUILT PLANS. PLANS TO BE SEALED BY REGISTERED SURVEYOR AND ENGINEER OF RECORD. BASE LINES FOR "AS-BUILTS" SHALL BE TAKEN FROM PERMANENT, EASY TO LOCATE, PHYSICAL STRUCTURES, SUCH AS MANHOLES, CATCH BASINS, ETC.
- 7. ALL EXCAVATION IN EXISTING RIGHT-OF-WAY SHALL BE BACKFILLED AT END OF EACH DAY TO PERMIT PEDESTRIAN AND VEHICULAR TRAFFIC PRIOR TO CONTRACTOR LEAVING SITE.
- 8. ALL NEWLY INSTALLED OR CONSTRUCTED PIPING SYSTEMS SHALL BE CLEANED PRIOR TO BEING PUT INTO SERVICE BY USING A POLY PRO CLEANING SYSTEM. A MINIMUM OF TWO (2) RIGGINGS ARE REQUIRED. AT THE DISCRETION OF THE UTILITY ENGINEER THE TEST SHALL BE REDONE TO HIS SATISFACTION.
- 9. NO SUPPLIER OF WATER SHALL PUT INTO SERVICE OR RESUME THE USE OF ANY PLANT, PUMPING STATION, MAIN STANDPIPE, RESERVOIR, TANK OR OTHER PIPE OR STRUCTURE THROUGH WHICH WATER IS DELIVERED TO CONSUMERS FOR DRINKING AND HOUSEHOLD PURPOSES UNTIL THE STRUCTURES HAVE BEEN EFFECTIVELY DISINFECTED AND APPROVED FOR OPERATION BY THE DEPARTMENT OF ENVIRONMENTAL REGULATION.
- 10. BACKFILL MATERIAL FOR WATER MAIN AND LINES SHALL BE NON-COHESIVE, NON-PLASTIC MATERIAL FREE OF ALL DEBRIS, LUMPS AND ORGANIC MATTER. BACKFILL MATERIAL OF 3/4" ROCK PLACED WITHIN ONE (1) FOOT OF PIPING AND APPURTENANCES SHALL NOT CONTAIN ANY STONES LARGER THAN TWO (2) INCHES DIAMETER AND NO STONE LARGER THAN SIX (6) INCHES IN DIAMETER WILL BE PERMITTED IN ANY BACKFILL.

**PAVING AND DRAINAGE SYSTEM NOTES:**

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE PLANTATION ACRES IMPROVEMENT DISTRICT, CITY OF PLANTATION.
- 2. ALL DRAINAGE PIPE SHALL BE REINFORCED CONCRETE CONFORMING TO ASTM SPECIFICATION C-76 AND SECTION 449 - FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OR CORRUGATED ALUMINUM METAL PIPE CONFORMING TO ASTM SPECIFICATION C-111 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OR APPROVED EQUAL.
- 3. MINIMUM COVER FOR ALL PIPE JOINTS SHALL MEET THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS (INDEX NO. 205).
- 4. ALL UNDERGROUND FACILITIES SHALL BE INSTALLED PRIOR TO PLACING THE LIMEROCK BASE MATERIAL.
- 5. THE FOLLOWING INSPECTIONS ARE REQUIRED BUT NOT NECESSARILY LIMITED TO:

A. CLEARING AND DEMOLITION	I. HORIZONTAL CONTROL POINTS
B. STORM DRAINS / LAMPING	J. AND PAVEMENT REFERENCE MONUMENTS.
C. SUBGRADE	K. REMOVAL AND DISPOSITION
D. ROCK BASE	L. REMOVED PIPING AND DEBRIS.
E. PRIME COAT	M. ASPHALT
F. ASPHALT	N. FINISH
G. PAINT	O. PAVEMENT MARKINGS
H. PAVEMENT MARKINGS	
- 6. DENSITY TESTS FOR SUBGRADE MUST BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER. GRAVITY TESTS FOR UNDERLAYMENT MUST BE SUBMITTED AND APPROVED BY THE CITY PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- 7. PRECAST CONCRETE MANHOLES AND CATCH BASINS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-478 AND 647 FOR CONCRETE STRENGTH, STEEL REINFORCEMENT, AREA, PLACEMENT AND APPEARANCE WHEN MANUFACTURED. ENGINEERING TESTING LABORATORY, SIGNED AND DATED, CERTIFYING THAT THEY MEET THE REQUIREMENTS OF ASTM C-478 FOR CONCRETE STRENGTH, STEEL REINFORCEMENT AREA AND PLACEMENT, AND APPEARANCE MANHOLES MUST BE INSPECTED BY THE CITY & ENGINEER BEFORE UNLOADING.
- 8. MINIMUM WALL AND BASE THICKNESS FOR PRECAST MANHOLES AND CATCH BASINS SHALL BE 8 INCHES. REINFORCING STEEL FOR MANHOLES AND CATCH BASINS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-615, A-305, A-195 AND A-499 LATEST REVISION. SPLICES SHALL HAVE A MINIMUM LAP OF 24 BAR DIAMETERS. MINIMUM COVER OVER REINFORCING STEEL SHALL BE 3 INCHES. ALL DRAINAGE STRUCTURES SHALL MEET F.D.O.T. SPECIFICATION.
- 9. ALL OPENINGS IN PRECAST MANHOLES AND CATCH BASINS SHALL BE CAST AT THE TIME OF MANUFACTURE.
- 10. ALL MANHOLES AND CATCH BASINS SHALL BE SET PLUMB TO LINE AND GRADE, AND SHALL REST ON A FIRM, CAREFULLY GRADDED SUBGRADE, WHICH SHALL PROVIDE UNIFORM BEARING UNDER BASE.
- 11. MANHOLE AND CATCH-BASIN SECTIONS SHALL BE JOINED WITH A MASTIC COMPOUND PRODUCING A WATER-TIGHT BOND. BRASS-NEX FLEXIBLE GASKETS BY K.T. SNYDER CO., INC. AND PRIMED WITH RAM-NEX PRIMER OR APPROVED EQUAL). THE REMAINING SPACE SHALL BE FILLED WITH CEMENT MORTAR AND FINISHED SO AS TO PRODUCE A SMOOTH CONTINUOUS SURFACE INSIDE AND OUTSIDE THE WALL SECTIONS.
- 12. CONCRETE FOR PRECAST MANHOLES SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. ALL CONCRETE AND MORTAR USED IN MANHOLE CONSTRUCTION SHALL HAVE TYPE II CEMENT.
- 13. ALL SPACES AROUND PIPES ENTERING OR LEAVING MANHOLES SHALL BE COMPLETELY FILLED WITH EMBOCO MORTAR (NON-METALLIC) OR BONSAL (NON-SHRINKING).
- 14. SHOP DRAWINGS OF ALL MATERIALS BEING USED SHALL BE SUBMITTED TO THE ENGINEER-OF-RECORD, P.A.I.D. & THE CITY OF PLANTATION FOR APPROVAL PRIOR TO ORDERING MATERIALS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REVISION OR UNACCEPTABLE MATERIALS INSTALLED OR ORDERED WITHOUT AN APPROVED SHOP DRAWING. ONE SET OF THE FOLLOWING ORIGINAL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER-OF-RECORD FOR INITIAL REVIEW:
  - 1. MANHOLES 2. PIPE 3. FRAME & GRATES (COVERS) 4. HEADWALLS
- 15. ALL PRIVATE DRAINAGE SHALL BE INSPECTED BY THE CITY OF PLANTATION. ALL PUBLIC DRAINAGE SHALL BE INSPECTED BY THE PLANTATION ACRES IMPROVEMENT DISTRICT.



**JONATHAN W. KEITH, P.A.**  
Consulting Engineers  
P.O. Box 1017  
Boynton Beach, Florida 33425 (954) 914-8109  
AUTHORIZATION NUMBER EB-26425



**Jon Keith**  
**2020.09.**  
**29**  
**13:21:31**  
**-0400**

**GENERAL NOTES**  
**REFLECTIONS IN THE ACRES**  
STKR OLD HIATUS, LLC

Table with columns: NO., DATE, BY, REVISION, NO., DATE, BY, REVISION. Row 1: 1, 9/23/20, JWK, REVISE PER PAID REVIEW COMMENTS.

Table with columns: Designed by: J.W.K., Date: 5/20; Drawn by: J.W.K., Date: 5/20; Checked by: J.W.K., Date: 5/20.

PROJECT NUMBER  
20-01  
SHEET NUMBER  
GN 1 OF 1

PLANTATION ACRES IMPROVEMENT DISTRICT PERMIT

TYPE OF PERMIT: [X] Construction [ ] Modification of existing Permit # [ ] Extension of existing Permit #

PROJECT TITLE: Reflections in the Acres (aka Noor Plantation Plat and NW 2nd Street ROW)

STREET ADDRESS: 11200 NW 4th Street, Plantation

LOCATION: Tract(s) Noor Plantation Plat Book 176 1/4 Section Page 97 Township Block Lot

PURPOSE Residential (residential, agricultural, commercial, etc.)

PROJECT SIZE: This phase: 12.146 acres Total: 12.146 acres

DESCRIPTION OF WORK TO BE PERMITTED Paving, Drainage and Earthwork activities associated with the development of 37

single-family lots including excavation of on-site lakes and widening of the PAID C-1A canal, install a piped outfall for NW 4th Street

NUMBER OF DWELLING UNITS 37 OR SQUARE FEET OF COMMERCIAL AREA N/A

DATE CONSTRUCTION OR ALTERATION IS EXPECTED TO START March, 2022

RECEIVING CANAL FOR PROJECT DRAINAGE C-1A

PROPERTY OWNER: STKR Old Hiatus, LLC

ADDRESS 201 SE 12th Street, Suite 100

CITY Ft. Lauderdale STATE FL ZIP 33316 PHONE 954-324-1712

DEVELOPER: Same as Property Owner

ADDRESS:

CITY STATE ZIP PHONE

PROJECT ENGINEER: Jonathan W. Keith, P.A.

ADDRESS: PO Box 1017

CITY Boynton Beach STATE FL ZIP 33425 PHONE 954-914-8109

AS THE PERMITTEE AND/OR OWNER OF THE PROPOSAL SET FORTH ABOVE, I DO UNDERSTAND AND AGREE THAT:

- 1. The use of or construction will be in accordance with the details of the approved drawing(s) supporting this permit; and if any changes are required, same will be cleared with the PLANTATION ACRES IMPROVEMENT DISTRICT in writing prior to initiating.
2. The PLANTATION ACRES IMPROVEMENT DISTRICT will be notified, as required to coordinate and schedule inspections.
3. Erosion, shoaling or deleterious discharges due to permitted actions will be corrected promptly at no expense to the PLANTATION ACRES IMPROVEMENT DISTRICT.
4. The area under permit will be maintained in a safe condition at all times or equipment will be promptly removed from the right of way of easement and that the right of way or easement will be restored to its original or better condition within a reasonable time on termination of the authorized use.
5. No beautification or erection of any structure or vegetation that will prohibit or limit the access of PLANTATION ACRES IMPROVEMENT DISTRICT equipment or vehicles in the right of way or easements will be permitted.
6. As Permittee, will hold and save the PLANTATION ACRES IMPROVEMENT DISTRICT and its successors harmless from any and all damages, claims or liabilities which may arise by reason of the construction, operation, maintenance or use of the work or structure involved in the permit.
7. This permit does not convey any property rights nor any rights or privileges other than those specified herein, nor relieve from complying with any law, regulation or requirement affecting the rights of other bodies or agencies.
8. This permit is in effect for one year, with an additional 60 day grace period. An extension must be requested if work is not completed during permit period.
9. To abide by the terms and conditions of the permit.

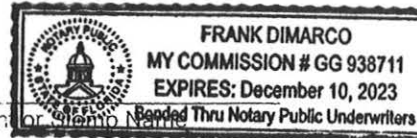
SIGNED [Signature] DATE 7-7-2021
Owner's Signature (if not the owner, certify below)

I HEREBY CERTIFY THAT I AM AN AUTHORIZED AGENT OF THE OWNER: (Attach Letter of Authorization from Owner)
TITLE

STATE OF FLORIDA
COUNTY OF Broward

Before me personally appeared JEFFREY KRONENGOLO as MEMBER of STKR OLD HIATUS LLC
to be known to be the person(s) described in or who has produced as identification and who executed the foregoing
instrument and acknowledged before me that executed said instrument for the purpose expressed.

WITNESS my hand and official seal this 7 day of July, 2021
My Commission Expires: 12-10-2023
NOTARY PUBLIC FRANK DiMarco Type, Print or Stamp Name



This permit does not become valid until signed by the Chairman of the PLANTATION ACRES IMPROVEMENT DISTRICT. This permit will expire one year, to the day, from the date signed by the Chairman.

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_ PERMIT REFERENCE NUMBER C2007.01
CHAIRMAN

**ENGINEER'S STAFF REPORT**  
FOR July 22, 2021 MEETING  
**AGENDA ITEM No.: D1**

**Action Required:** Board Discussion

**Item Description:** Pump Station #3 Rehabilitation  
Update

**P.A.I.D. Number:** D1707.01

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**Attachments:** None

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**Summary:** On July 13, 2021 there was a bid open at our office. Only one bid was received. The bidder was Hinterland Group, Inc., whose office is located in Riviera Beach, Florida. Their total base bid amount was \$388,580.00. Our Engineer's cost estimate was \$250,000.00.

Due to the limited amount of time between the bid opening on July 13<sup>th</sup> and this agenda's production and distribution of July 15<sup>th</sup>, we intend to present this item for open discussion at the July 22<sup>nd</sup> Board meeting.

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**Recommendation:** None

**Comments:** Discussion topics will be provided at time of Board meeting.

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Prepared by: WTV Date: 7/15/2021

**ENGINEER'S STAFF REPORT**  
FOR July 22, 2021 MEETING  
**AGENDA ITEM No.: D2**

**Action Required:** Discussion

**Item Description:** Permit Activity Summary

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**P.A.I.D. Number:** D9408.02 & D9408.03

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**Attachments:** None

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**Summary:** Approved Building Permits

<u>No.</u>	<u>Name</u>	<u>Address</u>	<u>PAID No.</u>
1.	Loriga (House)	11370 NW 28 <sup>th</sup> Court	B2101.01
2.	McCarragher (Fence)	11801 NW 27 <sup>th</sup> Court	B8804.03
3.	Anderson (Pool Deck)	11701 Hermitage Drive	B2106.02
4.	Hilbert (Fence)	11561 NW 23 <sup>rd</sup> Street	B8901.07
5.	Gudin (Pool)	11461 Shady Lane	B1708.01
6.	Baptiste (Pool)	12361 NW 14 <sup>th</sup> Street	B8909.12
7.	Fast Walls Florida (Driveway)	11601 NW 27 <sup>th</sup> Street	B1803.02
8.	Berman (Replace Existing Generator)	12040 NW 11 <sup>th</sup> Street	B0210.10
9.	Avila (Maintenance Fill)	1151 NW 122 <sup>nd</sup> Avenue	B9303.15
10.	Compitiello (Driveway)	401 S. Old Hiatus Road	B0406.02

**Summary:** Approved Certificates of Occupancy

<u>No.</u>	<u>Name</u>	<u>Address</u>	<u>PAID No.</u>
1.	Perez/Martin (Addition)	11350 NW 8 <sup>th</sup> Street	B1502.01

Prepared by: HMS Date: 07/12/2021

**ENGINEER'S STAFF REPORT**  
FOR July 22, 2021 MEETING  
**AGENDA ITEM No.: D3**

**Action Required:** Discussion

**Item Description:** Notices of Violation  
Summary

**P.A.I.D. Number:** D9611.01

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**Attachments:** None

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**Summary:** The following is a summary of the existing violations.

<b>Name</b>	<b>Address</b>	<b>Violation</b>	<b>Status</b>
MAGNOLIA BLUE STAR LLC	12340 NW 5 <sup>TH</sup> COURT	CONSTRUCTION WITHOUT PERMIT	IN PROCESS OF COMPLYING
AUGUSTIN	11740 HERMITAGE DRIVE (SW 4 <sup>TH</sup> DRIVE)	PLANTING IN SWALE WITHOUT PERMIT	IN PROCESS OF COMPLYING
BOHL	11800 NW 5 <sup>TH</sup> STREET	FILL WITHOUT PERMIT	IN PROCESS OF COMPLYING
LERNER	11496 NW 4 <sup>TH</sup> STREET	FILL WITHOUT PERMIT	COMPLIED

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Prepared by: HMS Date: 07/15/2021

J:\PAID\Projects (D)\1996\D9611.01-Violation Summary\WP\2021-07-22 D3. Nov Activity.wpd