



# Plantation Acres Improvement District

## Broward County Florida

1701 NW 112<sup>th</sup> Avenue, Plantation, FL 33323  
**AGENDA**  
**February 23, 2023**

Call to Order 7:00 P.M.

Pledge of Allegiance

Invocation

Roll Call

Approval of Attendance of Commissioners by Social Media or Telephone

Approval of Minutes

Public Comment

Staff Reports

I. Administrator's Report

- A. Ken Smith - Keefe McCullough & Co CPA - September 30<sup>th</sup>, 2022 Audit
- B. Approval of the January 2023 Expenditures in the amount of \$58,223.38
- C. Accounts Payable Procedures - Chair Nieset will discuss

II. Attorney's Report

III. Engineer's Report

A. CONSENT ITEMS

None

B. QUASI-JUDICIAL ITEMS

The items in this section are quasi-judicial in nature. If you wish to object or comment upon any of these items, you must be sworn before addressing the Board of Commissioners, and if you wish to address the Board, you may be subject to cross-examination. If you refuse to submit to cross-examination, the Board of Commissioners will not consider what you have said in its final deliberations.

B1. Kasbah Parcel (S2108.01) . . . . . Site Data Record

C. BOARD ACTION ITEMS

C1. North Acres Park (C0209.02) . . . . . Approval

C2. Request for Waiver of Fees - North Acres Park (C0209.02). . . . . Approval

D. DISCUSSION ITEMS

D1. NW 2<sup>nd</sup> Street R/W Drainage (D2301.01) . . . . . Discussion

D2. Preparation of Agenda (D2301.01) . . . . . Discussion

D3. Pump Stations Improvements (D1707.01) . . . . . Update

D4. 2022 PAID Annual Report (D2301.02) . . . . . Summary

D5. Permit Activity (D9408.02 & D9408.03). . . . . Summary

D6. Violation Activity (D9611.01) . . . . . Summary

IV. District Manager's Agenda

Old Business

New Business

Commissioner Comments

Adjournment

Notice is hereby given to all interested parties that if any person should decide to appeal any decision made at the forthcoming meeting of the Board of Commissioners, such person will need a record of the proceedings conducted at such meeting, and for such purpose he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which any appeal may be based. Persons with disabilities requiring accommodations in order to participate should contact the District Office at (954) 474-3092 at least 48 hours in advance to request such accommodations.

**ENGINEER'S STAFF REPORT**  
FOR February 23, 2023 MEETING  
**AGENDA ITEM No.: B1**

**Action Required:** Board Approval (Quasi-Judicial)

**Item Description:** Kasbah Parcel  
Site Data Record

**P.A.I.D. Number:** S2108.01

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**Attachments:** Site Data Record  
Application Information

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**Summary:** This application meets the criteria of the District, including the dedication of the required drainage easements and restrictive covenant for drainage purposes. Approval of this item shall constitute the following:

- 1) Approval of the Site Data Record document;
  - 2) Acceptance of the easements and covenant provided to PAID;
  - 3) Ratification of any right-of-way, easement, and/or covenant previously recorded;
  - 4) Approval for the recordation of any right-of-way, easement, and/or covenant executed and delivered but not recorded.
- 

**Recommendation:** APPROVE

**Comments:** The Chairman may sign the original after Board approval and after the updated title opinion is received and owner and surveyor have signed the original.

Prepared by: CJF Date: 2/15/23

# KASBAH PARCEL SITE DATA RECORD

Parcel A, CAROSELLA PLAT  
(PB 93, PG 43, BCR)  
Section 1, Township 50 South,  
Range 40 East  
Gross Acreage: 2.342 acres  
Net Acreage: 2.166 acres

## UTILITIES DEPARTMENT:

The Plantation Utilities Department does not require any easements across this Parcel at this time.

Plantation Utilities Department Date

## CITY REVIEW COMMITTEE:

This is to certify that the City Review Committee of the City of Plantation has approved and accepted this data for record this \_\_\_ day of \_\_\_\_\_, 20\_\_.

Chairman Date

## CITY COUNCIL:

This is to certify that this date has been approved and accepted for record by the City Council of Plantation, Florida, by Resolution #\_\_\_\_\_ adopted this \_\_\_ day of \_\_\_\_\_, 20\_\_.

By: \_\_\_\_\_ Attest: \_\_\_\_\_  
Mayor, City of Plantation City Clerk, City of Plantation

## SURVEYOR'S CERTIFICATE:

I hereby certify that this SITE DATA RECORD is a true and correct representation of the lands surveyed and described hereon and the SITE DATA RECORD was made under my responsible direction and supervision and that this data complies with all the City Council approved guidelines of the City's planning consultants as to location of easements and right-of-way referred to herein and all requirements of the Plantation Acres Improvement District. The P.R.M.'s as shown on the SITE DATA RECORD have been set where indicated. All coordinates and benchmarks conform to third order accuracy. The survey information meets all of the STANDARDS OF PRACTICE as set forth in the rules of the PROFESSIONAL SURVEYORS AND MAPPERS as stated in Chapter 5J-17, FLORIDA ADMINISTRATIVE CODE. All recorded easements, rights-of-way for utilities, waterways, drainage, access and other information pertaining to this site have been indicated hereon. This Site Data Record is certified to and for the reliance by the Plantation Acres Improvement District, a Florida Public Corporation.

Prepared by: Mikki H. Ulrich 2/15/2023  
Mikki H. Ulrich Date  
Professional Surveyor & Mapper #5853  
State of Florida  
Licenced Business No. 7281  
Deni Land Surveyors, Inc.

## LEGAL DESCRIPTION:

Parcel A, of CAROSELLA PLAT, according to the plat thereof, as recorded in Plat Book 93, at Page 43 of the Public Records of Broward County, Florida.

## CONSENT BY OWNER:

KNOW ALL MEN BY THESE PRESENTS: That Nathaniel D. Pool, as Trustee of the Nathaniel D. Pool Revocable Trust dated June 8, 1999, as restated on May 29, 2008, owner of the lands described and shown in the Site Data Record does ratify and consent to all easements previously conveyed as referred to herein.

In witness whereof: We have set our hand and seal this 15<sup>th</sup> day of February, 2023.

Witness: Randi Nitz  
Randi Nitz

Nathaniel D. Pool  
Nathaniel D. Pool,  
as Trustee of the Nathaniel D. Pool  
Revocable Trust dated June 8, 1999,  
as restated on May 29, 2008

Witness: A.S. Ulrich  
A.S. Ulrich

## PLANTATION ACRES

### IMPROVEMENT DISTRICT:

The drainage easements shown hereon as recorded in Official Records Book 49556, Page 1104 and Instrument Number \_\_\_\_\_ of the Public Records of Broward County, Florida, are acceptable to the Plantation Acres Improvement District, a Florida Public Corporation. This property is also subject to a Declaration of Restrictive Covenants recorded in Instrument Number \_\_\_\_\_ of the Public Records of Broward County, Florida. Plantation Acres Improvement District (P.A.I.D.) Drainage Easements shown hereon are hereby dedicated to the Plantation Acres Improvement District for drainage purposes and for purposes of ingress/ egress for the operation and maintenance of the drainage easements. Operation and maintenance by P.A.I.D. shall not be obligatory.

Chairman Date

## ENGINEERING DEPARTMENT:

Road Right-of-Way requirements have been satisfied as indicated hereon and recorded in Plat Book 2, Page 17 of the Public Records of Dade County, Florida and Plat Book 93, Page 43 of the Public Records of Broward County, Florida.

\_\_\_\_\_  
Samira Shalan, City Engineer  
Florida PE #75400

## ACKNOWLEDGEMENT:

The foregoing CONSENT BY OWNER was acknowledged before me by means of X physical presence or \_\_\_ online notarization, this 15<sup>th</sup> day of February, 2022 by NATHANIEL D. POOL, as Trustee of the NATHANIEL D. POOL REVOCABLE TRUST dated June 8, 1999, as restated May 29, 2008, who is personally known to me or has produced \_\_\_\_\_ as identification.

My commission expires: Mikki H. Ulrich  
Notary Public  
State of Florida at large



# KASBAH PARCEL SITE DATA RECORD

Parcel A, CAROSELLA PLAT  
(PB 93, PG 43, BCR)  
Section 1, Township 50 South,  
Range 40 East  
Gross Acreage: 2.342 acres  
Net Acreage: 2.166 acres

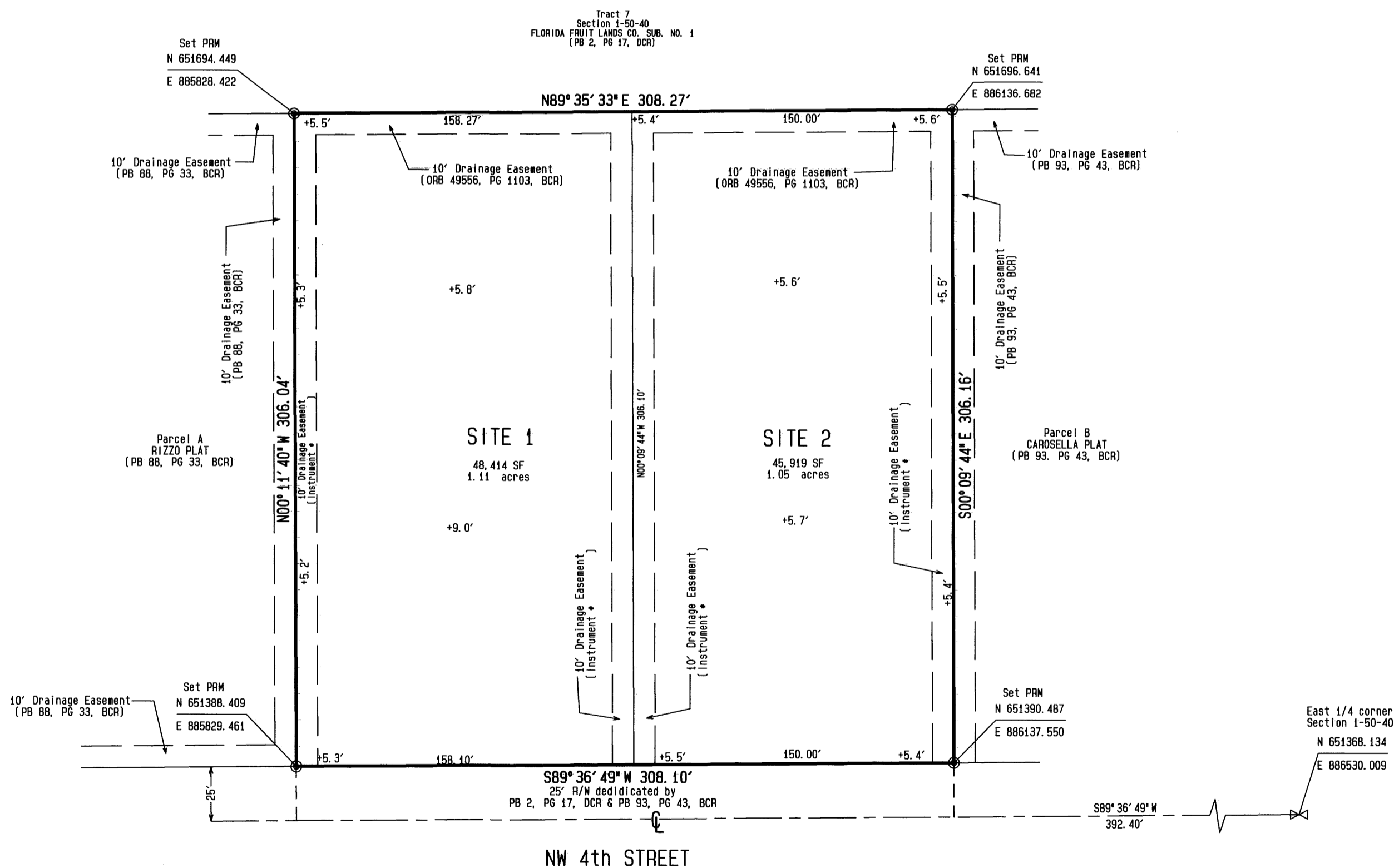
NW 8th Street	
16	1
15	2
14	3
13	4
12	5
11	6
10	7
9	8
NW 4th Street	

LOCATION MAP  
(not to scale)

**NOTES:**

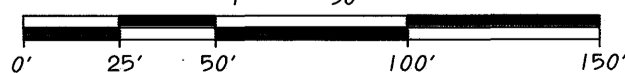
- Bearings are relative to the National Geodetic Survey Transverse Mercator, Florida East Zone, Grid North, as shown on "STONER/KEITH RESURVEY NO. 11, Misc. P.B. 4, PG 21, BCR.
- State Plane Coordinates are relative to the National Geodetic Survey Transverse Mercator, Florida East Zone, as shown on "STONER/KEITH RESURVEY NO. 11, and as transformed to the North American Datum of 1983 with the 1990 adjustment.
- Benchmarks are referenced to the North American Vertical Datum of 1988 and are based on Broward County benchmark #0423; Find azimuth monument "Plantation", 62' East of NW 112th Avenue, 1300' North of NW 4th Street; elevation = +5.24' NAVD

- LEGEND:**  
BCR = Broward County Records  
Fnd = Found  
DCR = Dade County Records  
ORB = Official Records Book  
PB = Plat Book  
PG = Page  
PRM = Permanent Reference Monument  
R/W = Right of Way  
SF = Square footage



Scale 1" = 50'

GRAPHIC SCALE



DATE: December, 2020

ORDER NO.: 2012013

FIELD BOOK: 132-54



**DENI LAND SURVEYORS, INC.**

1991 N.W. 35TH AVENUE, COCONUT CREEK, FLORIDA 33066 PHONE (954)973-7966

PLATS • LAND DEVELOPMENT • SITE DATA RECORDS

PLANTATION ACRES IMPROVEMENT DISTRICT  
BROWARD COUNTY, FLORIDA



1701 N.W. 112<sup>th</sup> Ave.  
Plantation, Florida 33325  
Telephone: (954) 474-3092  
Fax: (954) 474-3127

APPLICATION INFORMATION

SITE DATA RECORD       PLAT

PROJECT NAME Kasbah Parcel Site Data Record

LOCATION 11311 NW 4<sup>th</sup> St.

DATE 8/2/2021 FOLIO NO. 5040 01 44 0010

OWNER:

NAME Nathaniel Pool  
ADDRESS 11311 NW 4<sup>th</sup> St.  
Plantation, FL  
PHONE 305-720-7665

AGENT/SURVEYOR/  
ENGINEER:

NAME Mikki Ulrich / Deni Land Surveyors  
ADDRESS 1991 NW 35<sup>th</sup> Ave.  
Coconut Creek, FL 33066  
PHONE 954-973-7966

LEGAL DESCRIPTION:

Parcel A, Carosella Plat (93/43)

**ENGINEER'S STAFF REPORT**  
FOR February 23, 2023 MEETING  
**AGENDA ITEM No.: C1**

**Action Required:** Board Approval

**Item Description:** North Acres Park

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**PAID Number:** C0209.02

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**Attachments:** N. Acres Park Plans (11"x17")  
Permit Application

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**Summary:** This item is for approval of a 14.78 acre community park located at the NW corner of NW 118<sup>th</sup> Avenue and NW 21<sup>st</sup> Court in Plantation Acres. The park consists of a proposed 2.5 acre lake, parking lot extension and improvements, a 0.5 mile walking path, landscaping, and proposed fences along the east and west property lines and around the parking lot.

This project has been reviewed by our office and substantially meets all PAID drainage criteria per the Policies and Procedures manual.

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**Recommendation:** APPROVE

**Comments:** The Chairman may sign the permit application after Board Approval.

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**Prepared by:** BMP **Date:** 2/13/2023

# CITY OF PLANTATION

## ENGINEERING DEPARTMENT

### CONTRACT PLANS

**MAYOR**  
NICK SORTAL

**CITY COUNCIL**  
Jennifer Andreu, President  
Timothy J. Fadgen, President Pro Tem  
Erik Anderson  
Denise Horland  
Louis Reinstein

## North Acres Park Improvements

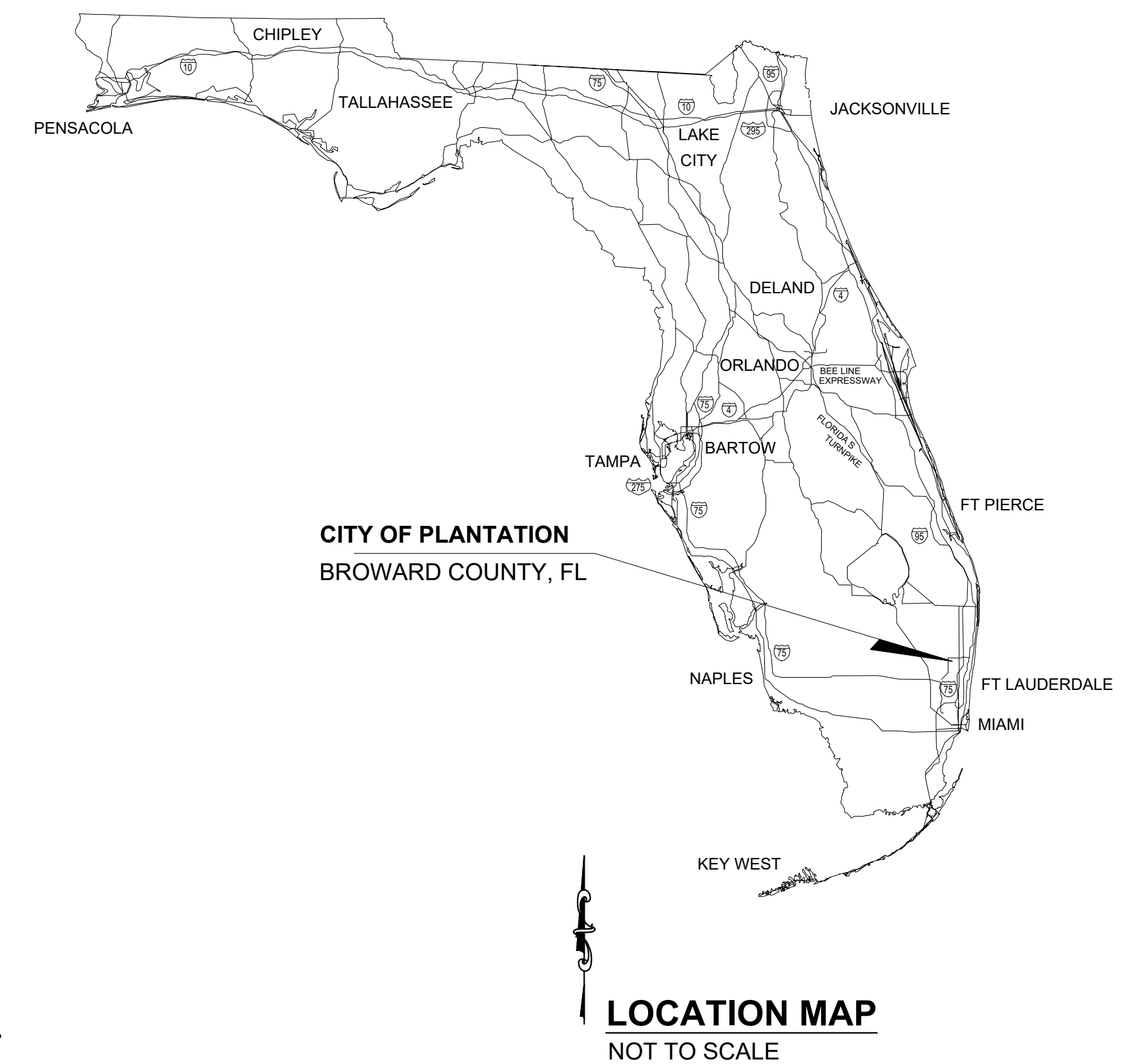
CP22-13

**INDEX OF DRAWINGS**

<u>SHEET NO.</u>	<u>SHEET DESCRIPTION</u>
Survey	Topographic Survey
PGD-1	Paving, Grading, and Drainage Plan
PGD-2	Paving, Grading, and Drainage Sections
PGD-3	Paving, Grading, and Drainage Sections
SD-3	Storm Drainage Details
SD-3.5	Storm Drainage Details
SD-4	Storm Water Details
SD-5	Road / Street Details
SD-6	Pavement Marking and Signage Details



**VICINITY MAP**  
NOT TO SCALE



**LOCATION MAP**  
NOT TO SCALE

**PROJECT SCOPE:**

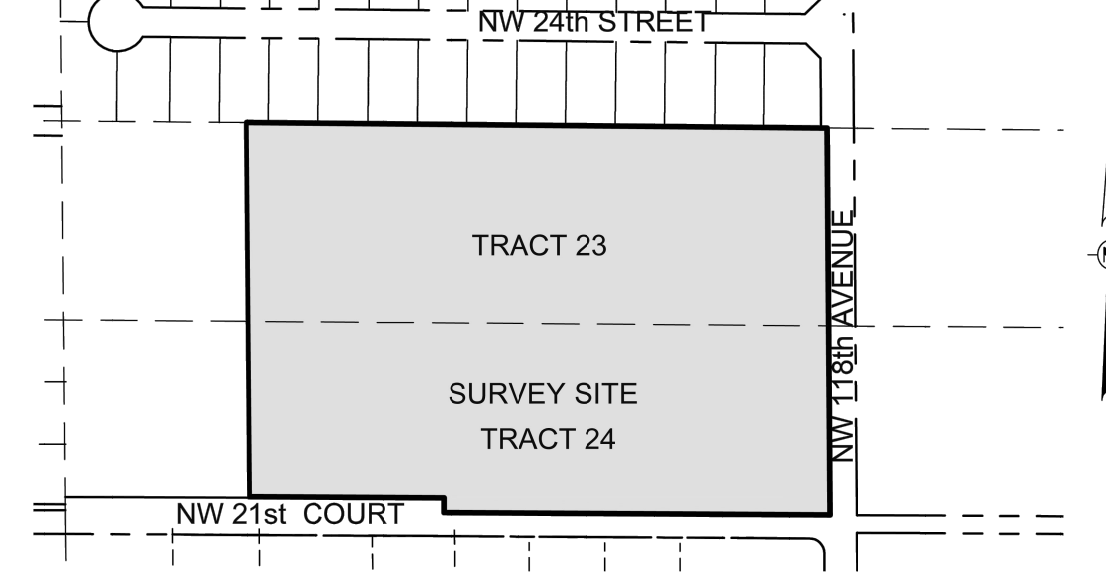
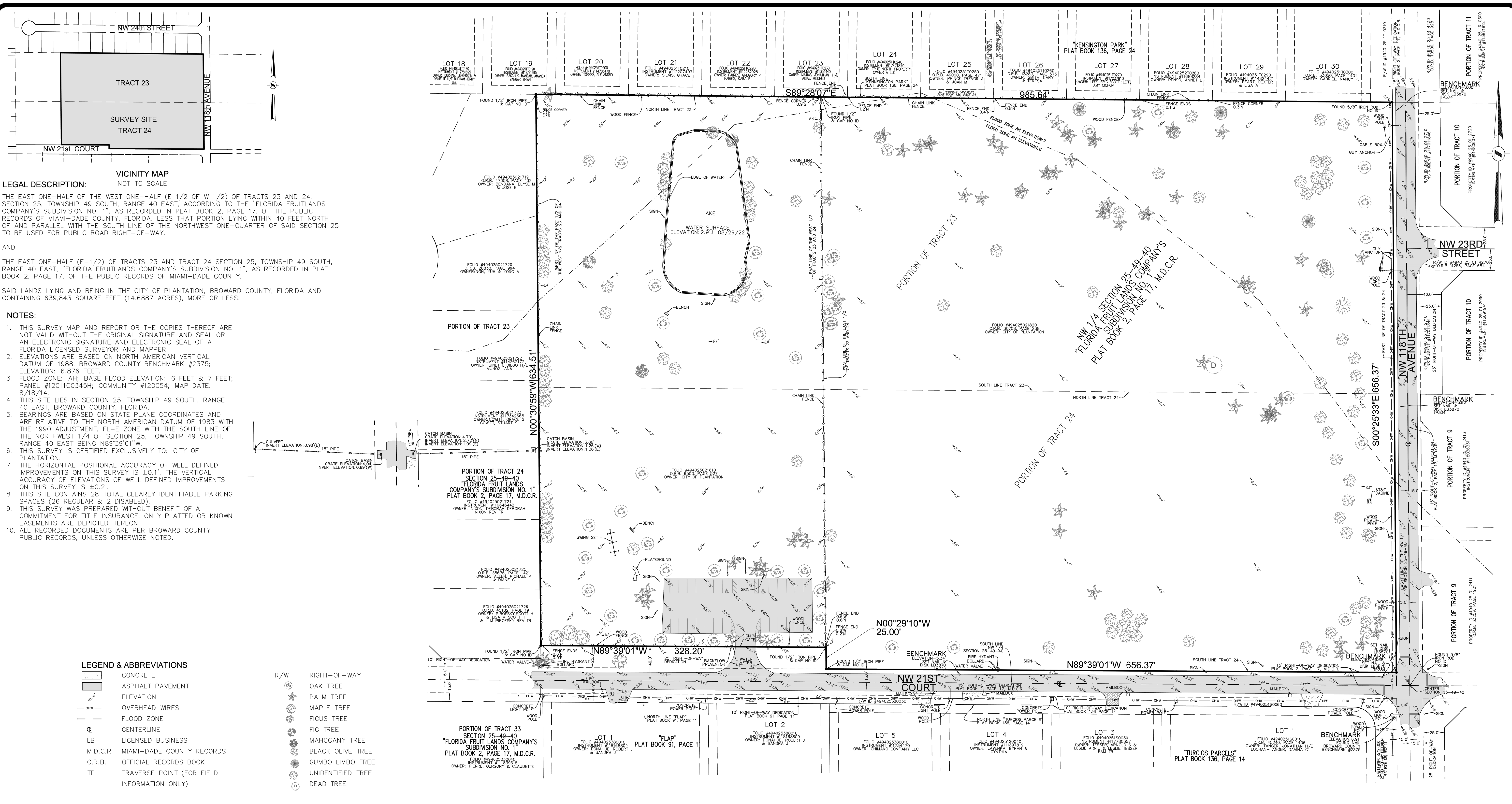
The project includes improvements to the existing parking lot and the construction of 10 additional parking spaces, the construction of half a mile of 8-foot-wide concrete walkway creating a continuous walking trail with multiple park amenities such as park benches and trash receptacles to be strategically located along the path. The City is also proposing to fill the existing pond and construct of a new 2.50 acres detention pond with a fountain, a network of drainage pipes and inlets will be strategically located at the perimeter of the park to collect the stormwater runoff. Public Works Landscaping Division conducted a thorough evaluation of the existing landscaping and provided feedback. As a result, 187 existing trees will remain in place, 14 trees will be relocated and 42 trees will be removed. A monument sign will be placed at the SE corner of the park and the park will be fenced in with a chain-link fence at the north and west and white slated fence along NW118th Avenue and NW 21st/ Court.

**PLANS PREPARED BY:**  
CITY OF PLANTATION  
ENGINEERING DEPARTMENT  
400 NW 73 AVENUE  
PLANTATION, FL 33317

NO.	DATE	BY	COMMENT

PROJECT	North Acres Park 11831 NW 21st Court Plantation, Florida 33323
DRAWING	Topographic Survey

SCALE	1:50
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
DRAWING NO.	Survey
PROJECT NO.	CP22-13
SHEET NO.	1 OF 1



**LEGAL DESCRIPTION:**  
VICINITY MAP  
NOT TO SCALE

THE EAST ONE-HALF OF THE WEST ONE-HALF (E 1/2 OF W 1/2) OF TRACTS 23 AND 24, SECTION 25, TOWNSHIP 49 SOUTH, RANGE 40 EAST, ACCORDING TO THE "FLORIDA FRUITLANDS COMPANY'S SUBDIVISION NO. 1", AS RECORDED IN PLAT BOOK 2, PAGE 17, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. LESS THAT PORTION LYING WITHIN 40 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 25 TO BE USED FOR PUBLIC ROAD RIGHT-OF-WAY.

AND

THE EAST ONE-HALF (E-1/2) OF TRACTS 23 AND TRACT 24 SECTION 25, TOWNSHIP 49 SOUTH, RANGE 40 EAST, "FLORIDA FRUITLANDS COMPANY'S SUBDIVISION NO. 1", AS RECORDED IN PLAT BOOK 2, PAGE 17, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY.

SAID LANDS LYING AND BEING IN THE CITY OF PLANTATION, BROWARD COUNTY, FLORIDA AND CONTAINING 639,843 SQUARE FEET (14.6887 ACRES), MORE OR LESS.

- NOTES:**
- THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
  - ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988, BROWARD COUNTY BENCHMARK #2375; ELEVATION: 6.876 FEET.
  - FLOOD ZONE: AH; BASE FLOOD ELEVATION: 6 FEET & 7 FEET; PANEL #12011C0345H; COMMUNITY #120054; MAP DATE: 8/18/14.
  - THIS SITE LIES IN SECTION 25, TOWNSHIP 49 SOUTH, RANGE 40 EAST, BROWARD COUNTY, FLORIDA.
  - BEARINGS ARE BASED ON STATE PLANE COORDINATES AND ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 1990 ADJUSTMENT, FL-E ZONE WITH THE SOUTH LINE OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 49 SOUTH, RANGE 40 EAST BEING N89°39'01"W.
  - THIS SURVEY IS CERTIFIED EXCLUSIVELY TO: CITY OF PLANTATION.
  - THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.1'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.2'.
  - THIS SITE CONTAINS 28 TOTAL CLEARLY IDENTIFIABLE PARKING SPACES (26 REGULAR & 2 DISABLED).
  - THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A COMMITMENT FOR TITLE INSURANCE. ONLY PLATTED OR KNOWN EASEMENTS ARE DEPICTED HEREON.
  - ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS, UNLESS OTHERWISE NOTED.

**LEGEND & ABBREVIATIONS**

	CONCRETE	R/W	RIGHT-OF-WAY
	ASPHALT PAVEMENT		OAK TREE
	ELEVATION		PALM TREE
	OVERHEAD WIRES		MAPLE TREE
	FLOOD ZONE		FIG TREE
	CENTERLINE		OAK TREE
	LB LICENSED BUSINESS		MAHOGANY TREE
	M.D.C.R. MIAMI-DADE COUNTY RECORDS		BLACK OLIVE TREE
	O.R.B. OFFICIAL RECORDS BOOK		GUMBO LIMBO TREE
	TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)		UNIDENTIFIED TREE
			DEAD TREE

**CERTIFICATION:**  
I HEREBY CERTIFY THAT THIS MAP OF SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691  
VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274  
DONNA C. WEST, PROFESSIONAL SURVEYOR AND MAPPER LS4290  
STATE OF FLORIDA

NO.		REVISIONS		BY	

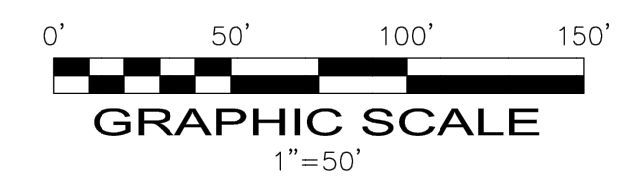
**BOUNDARY AND TOPOGRAPHIC SURVEY**

**NORTH ACRES PARK**  
11831 NW 21ST COURT  
PLANTATION, FLORIDA 33323  
(CITY OF PLANTATION, BROWARD COUNTY)

**PULICE LAND SURVEYORS, INC.**  
5381 NOB HILL ROAD  
SUNRISE, FLORIDA 33351  
TELEPHONE: (954) 572-1777  
FAX: (954) 572-1778  
E-MAIL: surveys@pulicelandsurveyors.com  
WEBSITE: www.pulicelandsurveyors.com  
CERTIFICATE OF AUTHORIZATION LB#3870

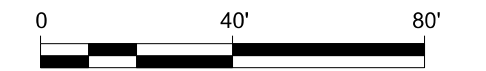
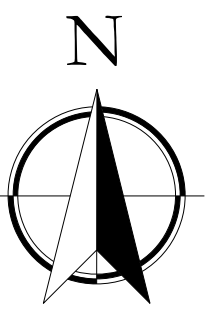
**PLS**

DRAWN BY: R.V.      SCALE: 1" = 50'  
CHECKED BY: J.F.P.      SURVEY DATE: 10-17-22      CLIENT: CITY OF PLANTATION      ORDER NO.: 70283

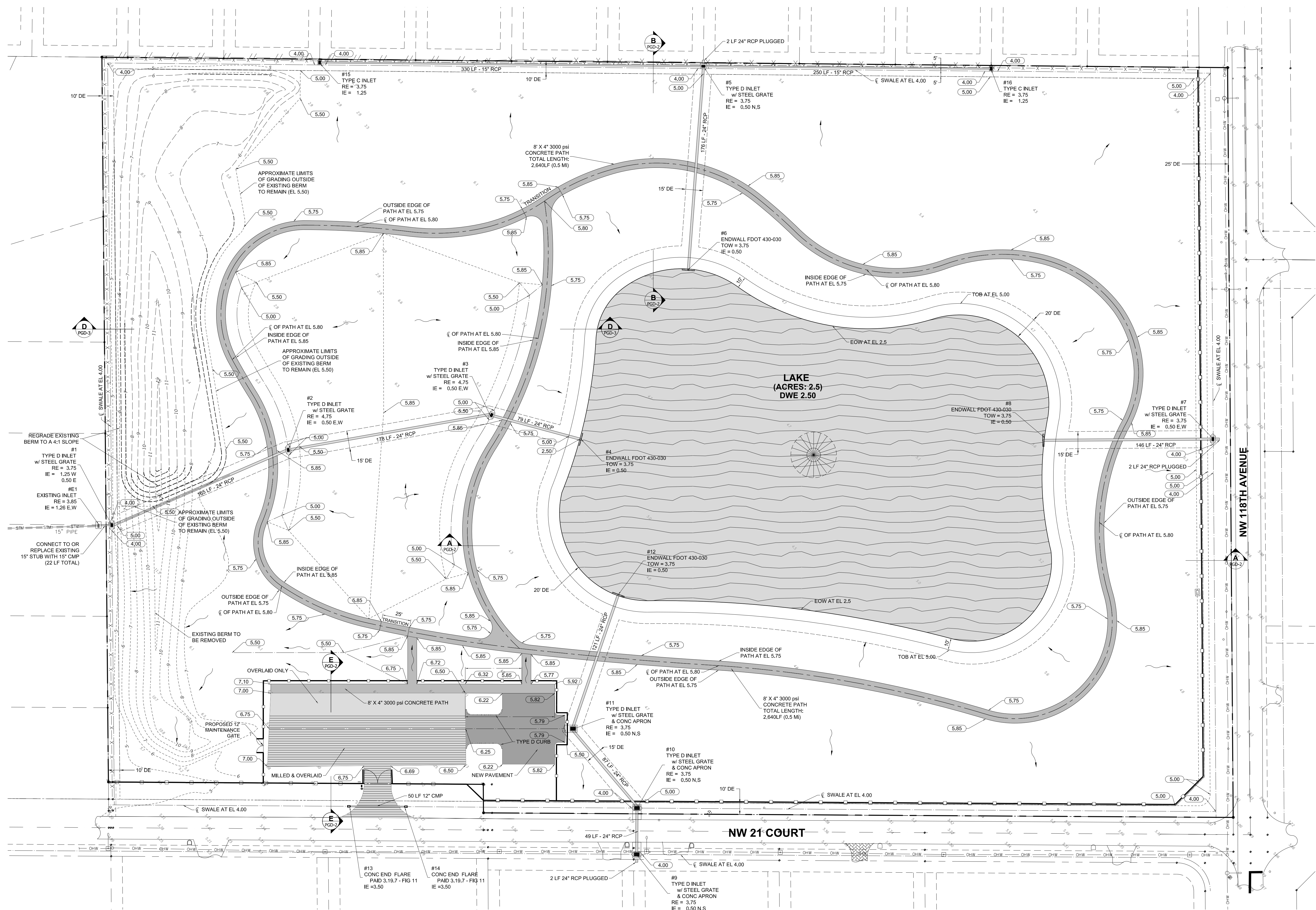


COPYRIGHT 2022 BY PULICE LAND SURVEYORS, INC. ALL RIGHTS RESERVED. NO PART OF THIS SURVEY MAY BE REPRODUCED, IN ANY FORM OR BY ANY MEANS, WITHOUT PERMISSION IN WRITING FROM AN OFFICER OF PULICE LAND SURVEYORS, INC.





LEGEND & ABBREVIATIONS	
	PROPOSED GRADE
	EXISTING SPOT ELEVATION
	NEW PAVEMENT
	PAVEMENT OVERLAY
	ASPHALT MILLING
	PROPOSED LAKE
	DIRECTION OF OVERLAND FLOW
DWE	DESIGN WATER ELEVATION
IE	INVERT ELEVATION
RCP	REINFORCED CONCRETE PIPE
RE	RIM ELEVATION
TOW	TOP OF WALL
DE	DRAINAGE ESMT (TO BE DEDICATED)

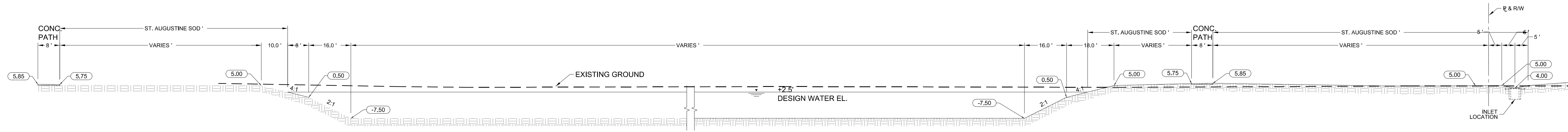


REVISIONS	
No.	DATE

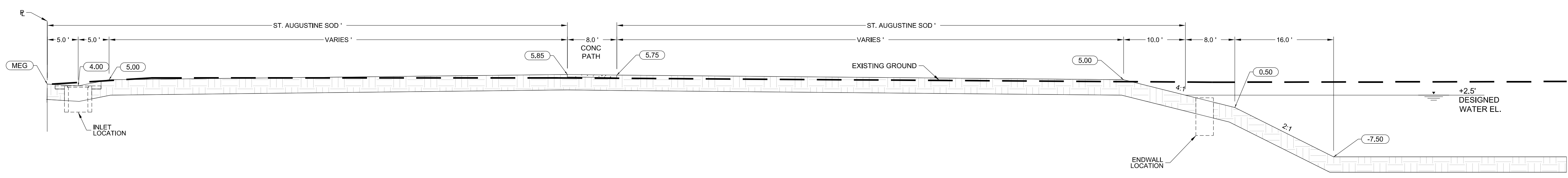
PROJECT	
<b>North Acres Park</b>	
11831 NW 21st Court Plantation, Florida 33323	
Paving, Grading, And Drainage Plan	

DRAWING	
DESIGNED BY	S. Shalan
DESIGNED DATE	10/5/2022
DRAWN BY	L. Riaño
DRAWN DATE	10/5/2022
CHECKED BY	
CHECKED DATE	

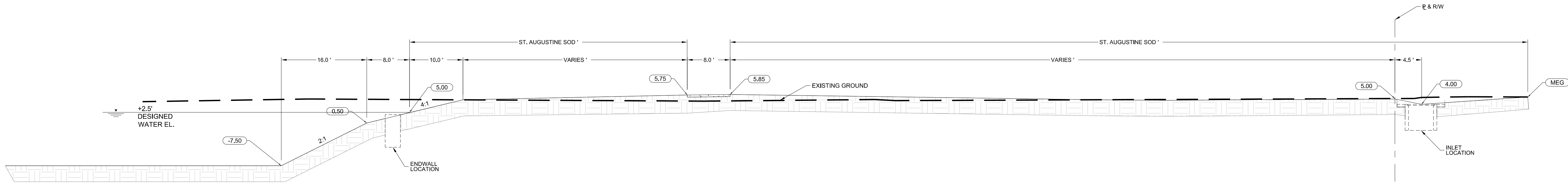
DRAWING NO.	<b>PGD-1</b>
PROJECT NO.	<b>CP22-13</b>
SHEET NO.	<b>1</b> OF <b>1</b>



**SECTION A-A**  
 SCALE: 1:20



**SECTION B-B**  
 SCALE: 1:10



**SECTION C-C**  
 SCALE: 1:10

REVISIONS

COMMENT

BY

DATE

NO.

PROJECT  
**North Acres Park**  
 11831 NW 21st Court Plantation, Florida 33323

DRAWING  
 Paving, Grading, And Drainage Sections

SCALE  
 As Shown

DESIGNED  
 S.Shalan 10/5/2022

DRAWN BY  
 L. Riaño 10/5/2022

CHECKED BY  
 DATE

DRAWING NO.  
**PGD-2**

PROJECT NO.  
**CP22-13**

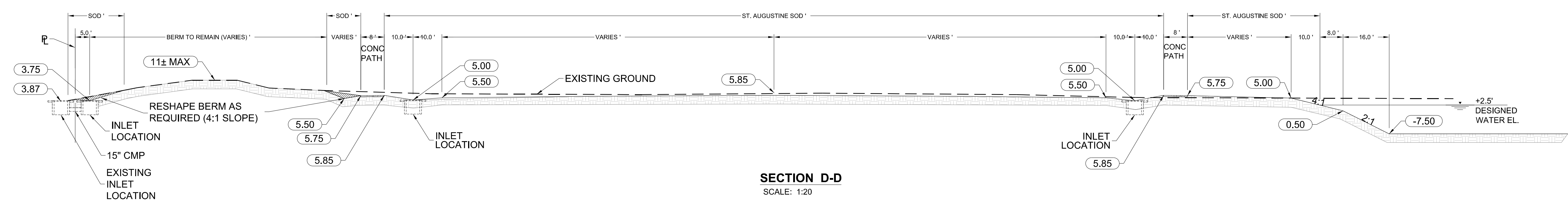
SHEET NO.

NO.	DATE	BY	COMMENT

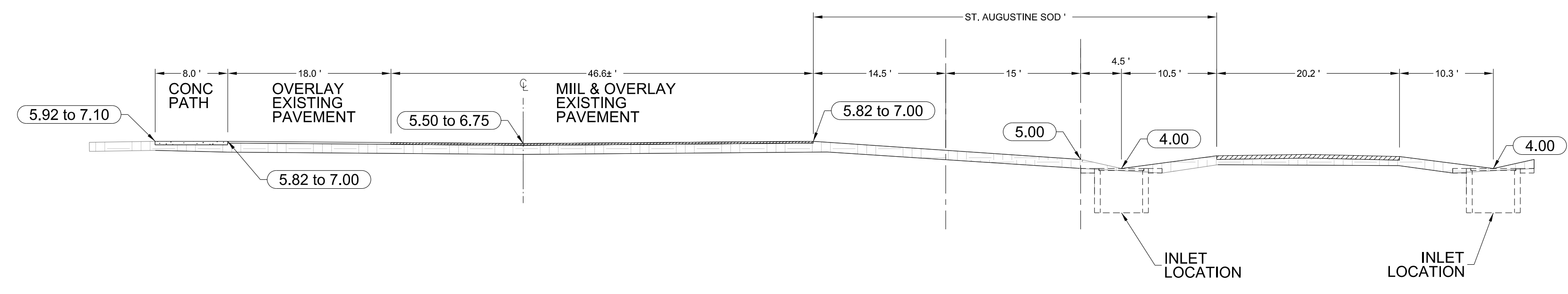
PROJECT: **North Acres Park**  
 11831 NW 21st Court Plantation, Florida 33323

DRAWING: **Paving, Grading, And Drainage Sections & Traffic Markings**

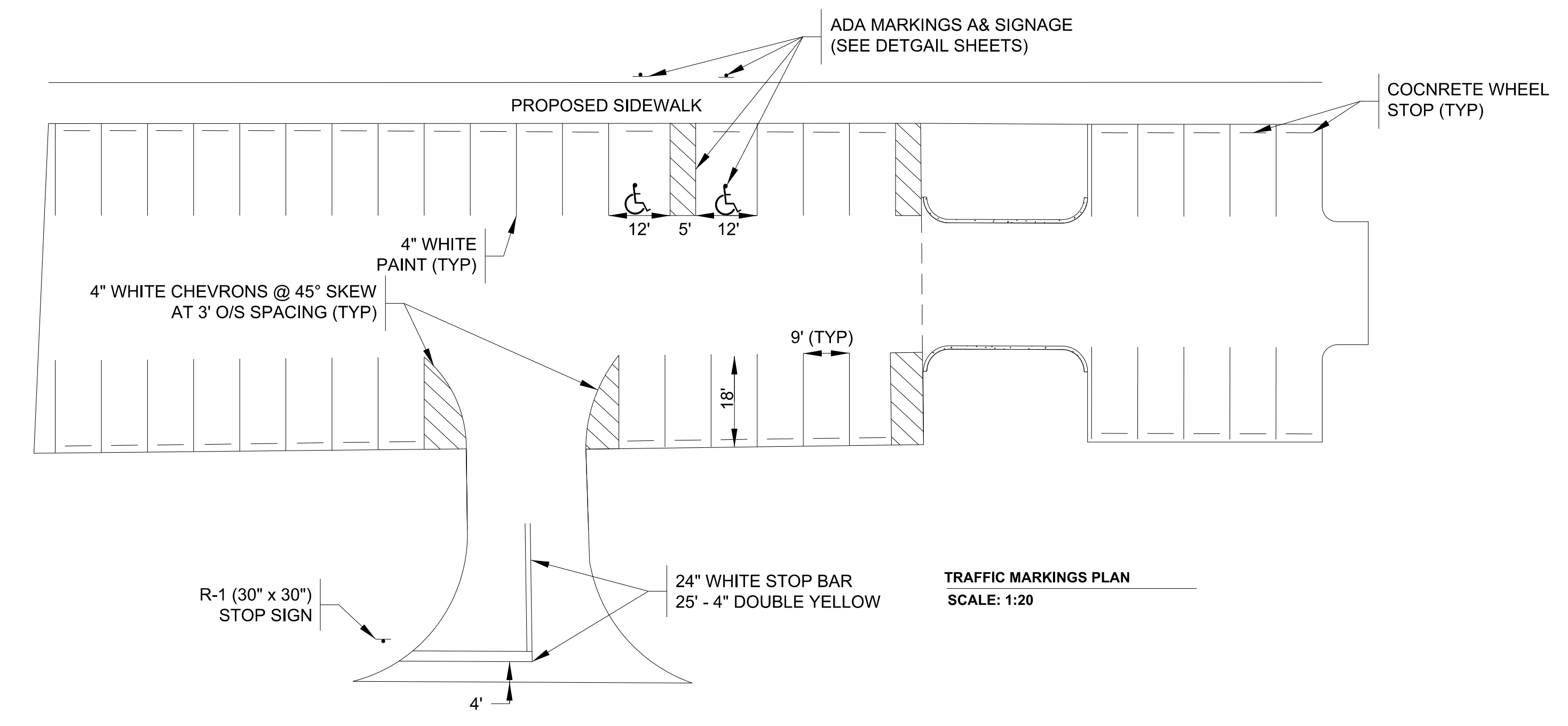
SCALE: <b>As Shown</b>	
DESIGNED: <b>S. Shalan</b>	DATE: <b>10/5/2022</b>
DRAWN BY: <b>L. Riaño</b>	DATE: <b>10/5/2022</b>
CHECKED BY: <b></b>	DATE: <b></b>
DRAWING NO.: <b>PGD-3</b>	
PROJECT NO.: <b>CP22-13</b>	
SHEET NO.: <b>3 OF 3</b>	



**SECTION D-D**  
SCALE: 1:20



**SECTION E-E**  
SCALE: 1:10



**TRAFFIC MARKINGS PLAN**  
SCALE: 1:20

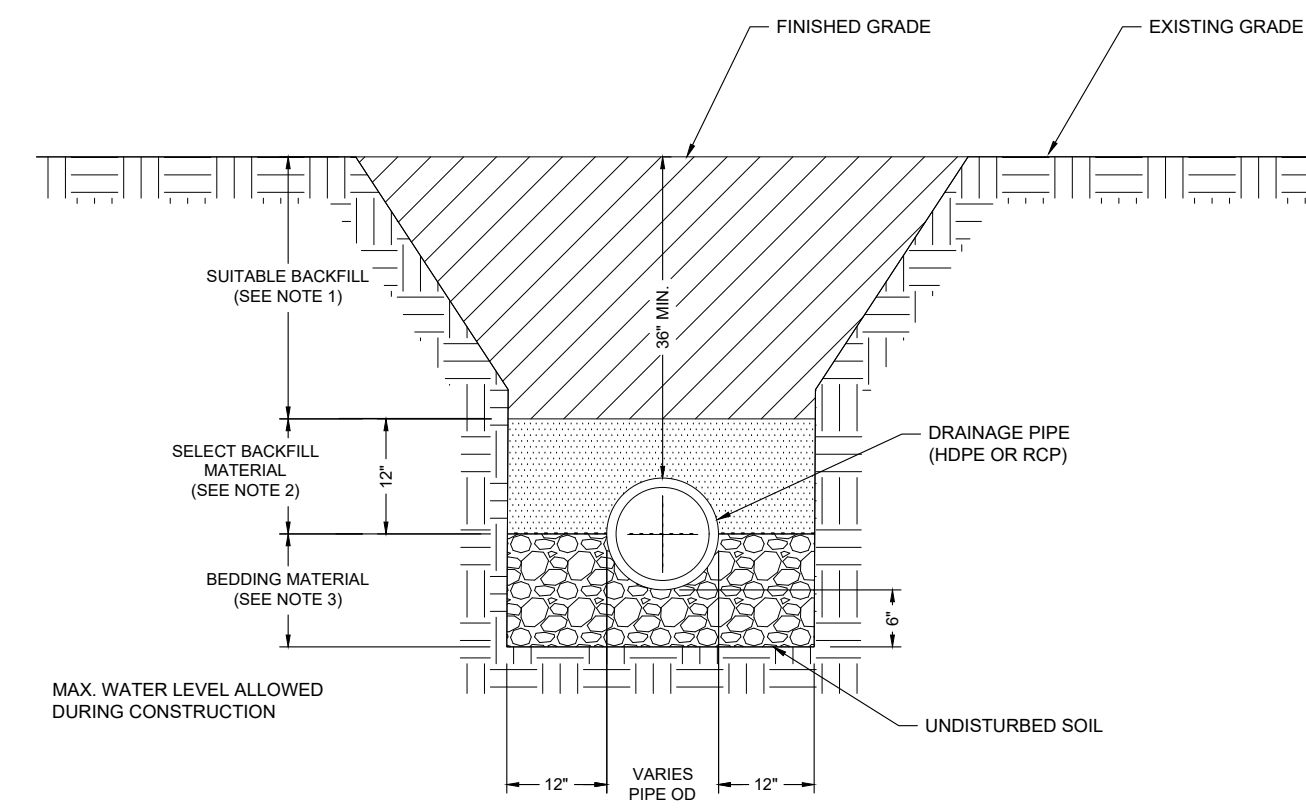
**GENERAL NOTES:**

- ALL MATERIALS AND INSTALLATION METHODS SHALL BE IN ACCORDANCE WITH THE CITY OF PLANTATION DESIGN STANDARDS, THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), AND THE FDOT DESIGN STANDARDS (LATEST EDITION).
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS INCLUDING DEWATERING OPERATION PERMITS. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE PERMITS ISSUED FOR THIS PROJECT.
- ALL STORM WATER PIPE AND STRUCTURES SHALL BE INSTALLED ON A FIRM FOUNDATION. ALL UNSUITABLE MATERIAL (MUCK, ROCK, SILT, ETC.) SHALL BE REMOVED AND REPLACED WITH CLEAN GRANULAR FILL.
- DEWATERING SHALL BE PROVIDED TO KEEP GROUNDWATER ELEVATION A MINIMUM OF 6 INCHES BELOW MATERIAL BEING INSTALLED. THE CONTRACTOR SHALL MANAGE DEWATERING OPERATIONS AND DISPOSE OF THE WATER SO AS NOT TO CAUSE INJURY TO THE PUBLIC OR PRIVATE PROPERTY. CONTRACTOR SHALL AT ALL TIMES HAVE ON HAND SUFFICIENT PUMPING EQUIPMENT AND MACHINERY IN GOOD WORKING CONDITION FOR EMERGENCIES.
- ALL PIPES AND STRUCTURES SHALL BE INSTALLED AT GRADES SHOWN ON PLANS.
- ALL DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 30" UNLESS OTHERWISE NOTED ON PLANS.
- THE CONTRACTOR SHALL COMPLY WITH ALL HORIZONTAL AND VERTICAL SEPARATION REQUIREMENTS IN ACCORDANCE WITH BROWARD COUNTY WATER & WASTEWATER SERVICES SEPARATION REQUIREMENTS WHEN DRAINAGE FACILITIES ARE NEAR WATER MAINS AND SANITARY SEWER INFRASTRUCTURE.
- STORM INLETS, MANHOLES, AND CATCH BASINS SHALL BE PRE-CAST REINFORCED CONCRETE IN ACCORDANCE WITH FDOT ROADWAY AND TRAFFIC STANDARDS, UNLESS OTHERWISE NOTED ON PLANS.
- STRUCTURES SHALL BE REQUIRED AT EACH CHANGE OF PIPE SIZE, CHANGE IN PIPE DIRECTION, OR PIPE MATERIAL.
- MAXIMUM DISTANCES BETWEEN INLETS AND/OR MANHOLES SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON PLANS:

PIPE DIAMETER (INCHES)	MAXIMUM DISTANCE (FEET)
15	150
18	300
24 OR GREATER	400

- ALL GRATES, MANHOLES AND PIPE USED SHALL BE TRAFFIC BEARING, H-20 OR H-25 LOADING.
- STORM SEWER PIPE MATERIAL SHALL BE AS INDICATED ON PLANS. THE DRAINAGE PIPE MATERIAL ACCEPTABLE ON CITY PROJECTS IS INDICATED BELOW:  
 REINFORCED CONCRETE PIPE (RCP) CLASS II (ASTM-76) WITH RUBBER GASKET JOINTS.  
 HIGH DENSITY POLYETHYLENE PIPE (HDPE), MANUFACTURED IN 20-FOOT LENGTHS WITH SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS, GASKETED CONNECTIONS WITH A CLOSED-CELL SYNTHETIC EXPANDED RUBBER GASKET MEETING THE REQUIREMENTS OF ASTM D1556 GRADE. HDPE PIPE SHALL BE HI-Q PIPE MANUFACTURED BY HANCOR OR AN APPROVED EQUAL.
- STORM DRAINAGE PIPES SHALL BE ALUMINUM OF FIFTEEN (15) INCH DIAMETER
- ALL REINFORCED CONCRETE PIPE (ROUND OR ELLIPTICAL) SHALL HAVE ITS JOINTS WRAPPED IN ACCORDANCE WITH FDOT INDEX NO. 228. ALL CONNECTIONS AND JOINTS FOR PIPE SHALL BE WRAPPED WITH #20 FILTER MATERIAL WITH 12 INCHES EXTENDING ON THE SIDES AND A24 INCH OVERLAP OF THE FILTER MATERIAL. THE FILTER MATERIAL SHALL BE SECURED USING MATERIAL WHICH IS SUITABLE FOR THIS PURPOSE.
- THE CONTRACTOR IS RESPONSIBLE FOR RESTORING A FULL LANE OR LANES OF ROADWAY THAT ARE IMPACTED BY CONSTRUCTION. THE CONTRACTOR SHALL TAKE THIS INTO ACCOUNT AND INCLUDE IT AS PART OF THEIR BID. IF THE ROAD IS NOT UNDER THE JURISDICTION OF THE CITY OF PLANTATION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE REQUIREMENTS OF RESTORATION FROM THE GOVERNING JURISDICTION.
- ALL PIPE ENDS TERMINATING IN SWALE OR DITCH OR WATERWAY SHALL BE MITERED END SECTIONS UNLESS A HEADWALL IS APPROVED FOR RESTRICTED LOCATIONS.
- WATERWAY INFLOW AND OUTLET STRUCTURES SHALL BE CONSTRUCTED WITH REINFORCED CONCRETE AND SHALL BE SUBJECT TO THE APPROVAL OF THE CITY.
- ALL PIPES AND DRAINAGE STRUCTURES SHALL BE FREE OF ANY CONSTRUCTION DEBRIS, DIRT, ETC. PRIOR TO FINAL ACCEPTANCE.

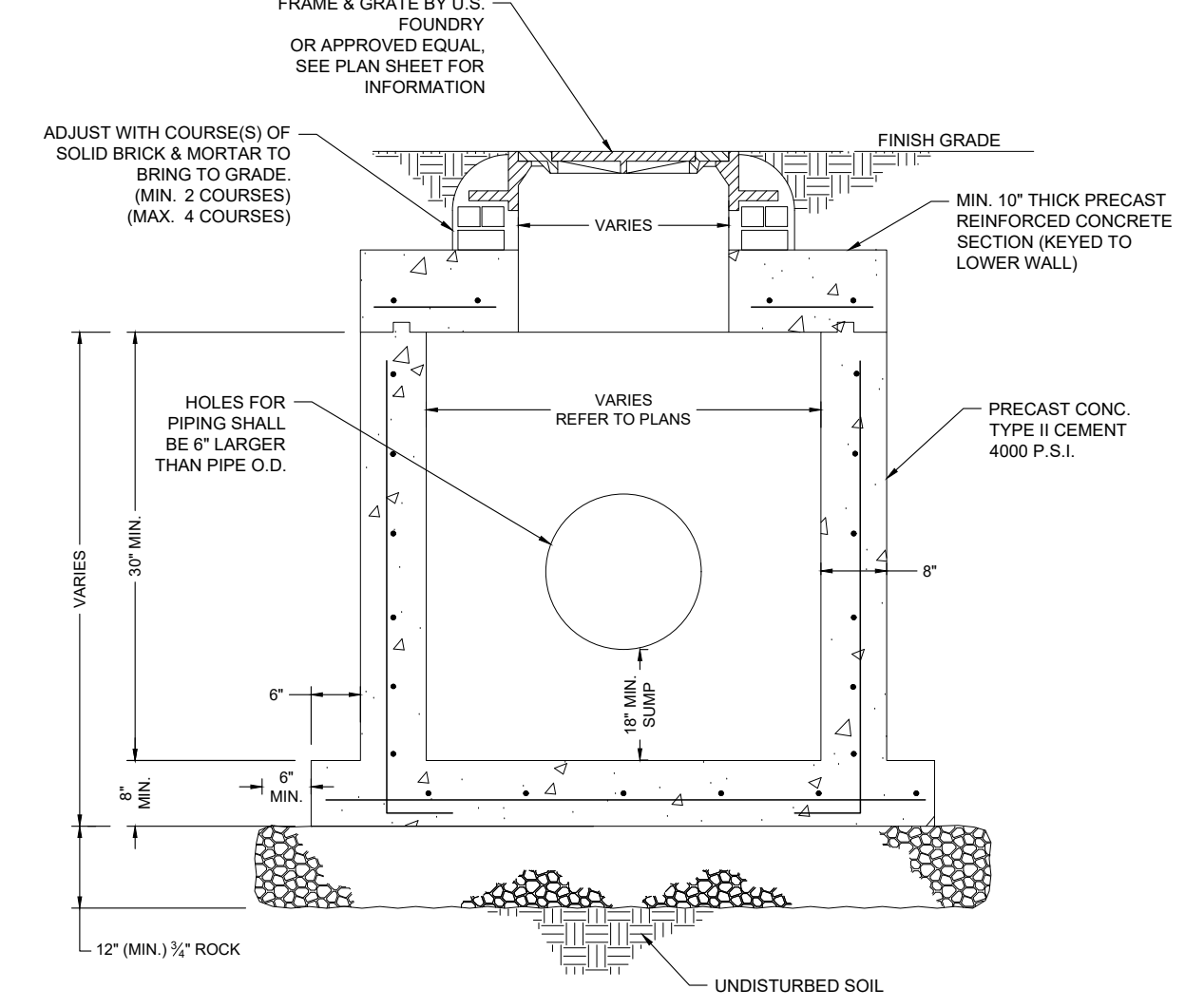
	<b>CITY OF PLANTATION</b> ENGINEERING STANDARDS PLANTATION, FLORIDA	<b>STORMWATER CONSTRUCTION</b> GENERAL NOTES	SCALE: N.T.S. DRAWING NO. SD-1
	Revision: 08/20/2020		



**SECTION**

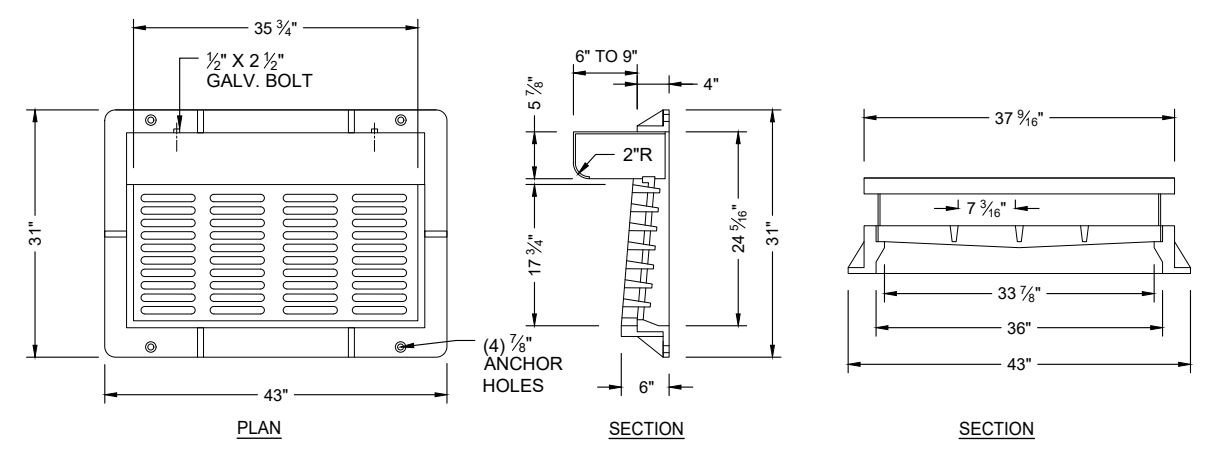
- NOTES:**
- SUITABLE BACKFILL MATERIAL WITH GRANULAR SIZE NO LARGER THAN 3" SHALL BE PLACED IN LIFTS NOT TO EXCEED 6", EACH LAYER COMPACTED TO A DENSITY OF AT LEAST 98% MAXIMUM DRY DENSITY PER A.A.S.H.T.O. T-180
  - SELECT BACKFILL MATERIAL WITH GRANULAR SIZE NOT TO EXCEED 1" SHALL BE PLACED TO 12" ABOVE PIPE. BACKFILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 6", EACH LAYER COMPACTED TO A DENSITY OF AT LEAST 98% MAXIMUM DRY DENSITY PER A.A.S.H.T.O. T-180.
  - UNLESS OTHERWISE SPECIFIED, BEDDING MATERIAL SHALL CONSIST OF COMPACTED WASHED AND GRADED LIMEROCK (5/8" - 3/4")
  - TRENCH SLOPE MUST COMPLY WITH THE "FLORIDA TRENCH SAFETY ACT" (99-96, LAWS OF FLORIDA)
  - WHERE UNSTABLE SOILS ARE ENCOUNTERED, INCLUDING PEAT, MUCK OR OTHER ORGANIC SOILS BELOW THE WATER TABLE, A FOUNDATION IS REQUIRED.
  - FINISHED GROUND COVER SHALL BE AS INDICATED ON PLANS AND/OR SPECIFICATIONS

	<b>CITY OF PLANTATION</b> ENGINEERING STANDARDS PLANTATION, FLORIDA	<b>TYPICAL DRAINAGE STRUCTURE</b>	SCALE: N.T.S. DRAWING NO. SD-3
	Revision: 10/03/2017		

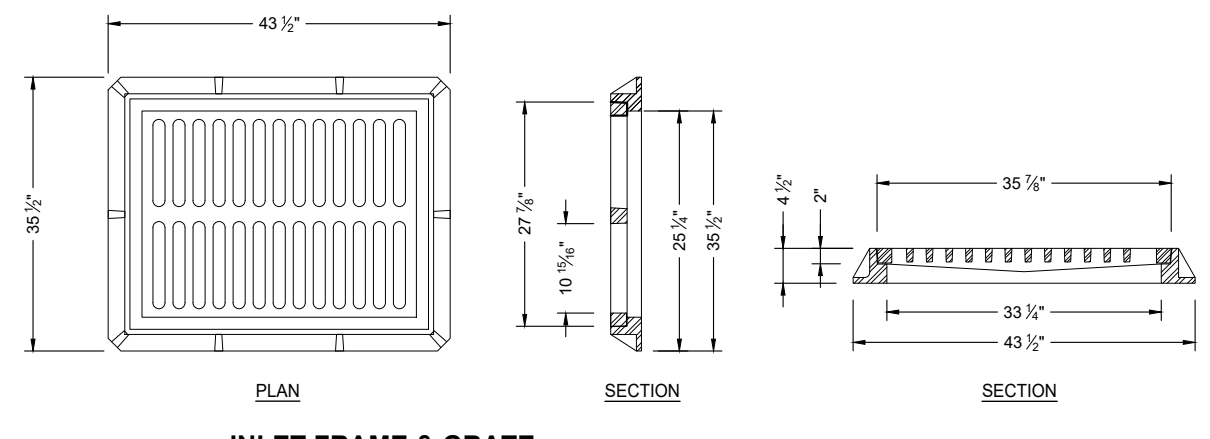


- NOTES:**
- PRECAST DRAINAGE STRUCTURES SHALL CONFORM TO ASTM C478, SHALL BE TYPE II ACID RESISTANT CEMENT AND SHALL MAINTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
  - LET HOLES THROUGH PRECAST STRUCTURE ARE NOT PERMITTED.
  - STORM INLETS AND CATCH BASINS SHALL BE PRE-CAST REINFORCED CONCRETE IN ACCORDANCE WITH FDOT ROADWAY AND TRAFFIC STANDARDS, UNLESS OTHERWISE NOTED ON PLANS. FOR ADDITIONAL DETAILS AND SPECIFICATIONS REFER TO INDEX ES 200 AND 201 OF THE F.D.O.T. DESIGN STANDARDS, CURRENT EDITION.
  - ALL PIPE HOLES SHALL BE CAST AT TIME OF FABRICATION.
  - A MINIMUM OF SEVEN DAYS CURE TIME IS REQUIRED PRIOR TO DELIVERY.
  - ALL OPENINGS SHALL BE SEALED WITH A WATERPROOF, NON-SHRINKING GROUT.
  - ANY VISIBLE REINFORCING WIRE, STEEL OR HONEYCOMBS SHALL BE CAUSE FOR REJECTION.
  - SHOP DRAWINGS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND THE CITY OF PLANTATION ENGINEERING DEPARTMENT.
  - ALL INLET FRAME AND GRATES SHALL BE TRAFFIC BEARING, H-20 OR H-25 LOADING.

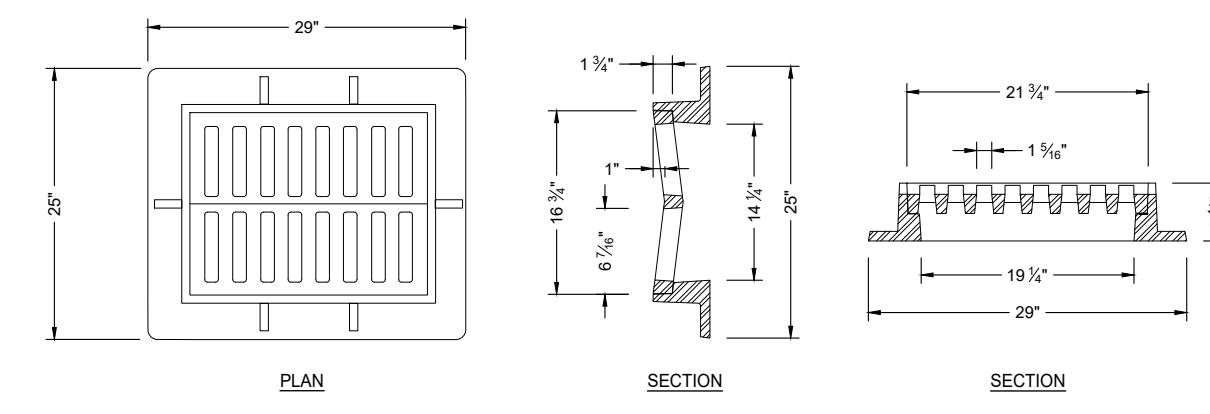
	<b>CITY OF PLANTATION</b> ENGINEERING STANDARDS PLANTATION, FLORIDA	<b>TYPICAL DRAINAGE STRUCTURE</b>	SCALE: N.T.S. DRAWING NO. SD-4
	Revision: 10/02/2017		



**CURB & GUTTER INLET (USF 5130-6168 OR APPROVED EQUAL)**



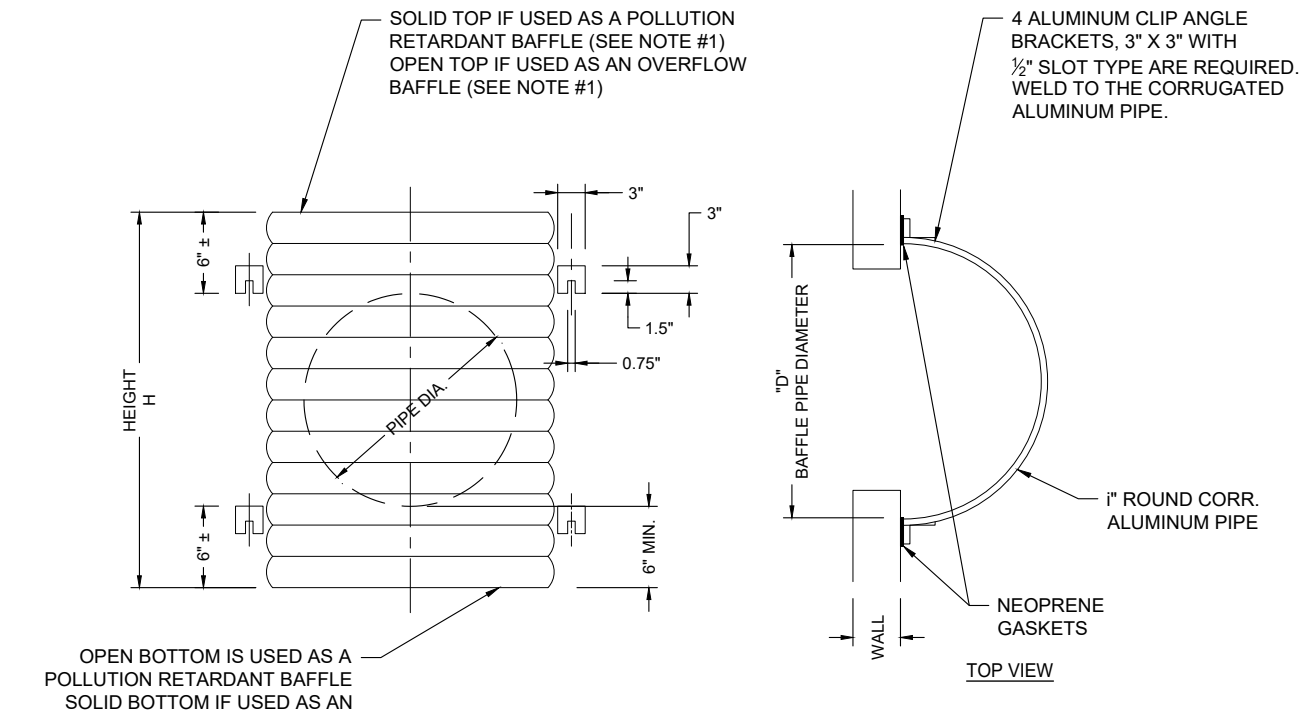
**INLET FRAME & GRATE (USF 4155-6210 OR APPROVED EQUAL)**



**VALLEY GUTTER INLET (USF 5100-6147 OR APPROVED EQUAL)**

- NOTES:**
- THE INLETS SHOWN ARE THE CITY PREFERENCES BUT IT MAY BE NECESSARY TO SELECT ALTERNATIVE TO MEET CONSTRUCTION REQUIREMENTS.
  - ALL MATERIAL FOR INLET SHALL BE ASTM-A48 CLASS 35B GRAY IRON.
  - ALL INLETS SHALL BE RATED FOR TRAFFIC BEARING HEAVY DUTY LOADS.

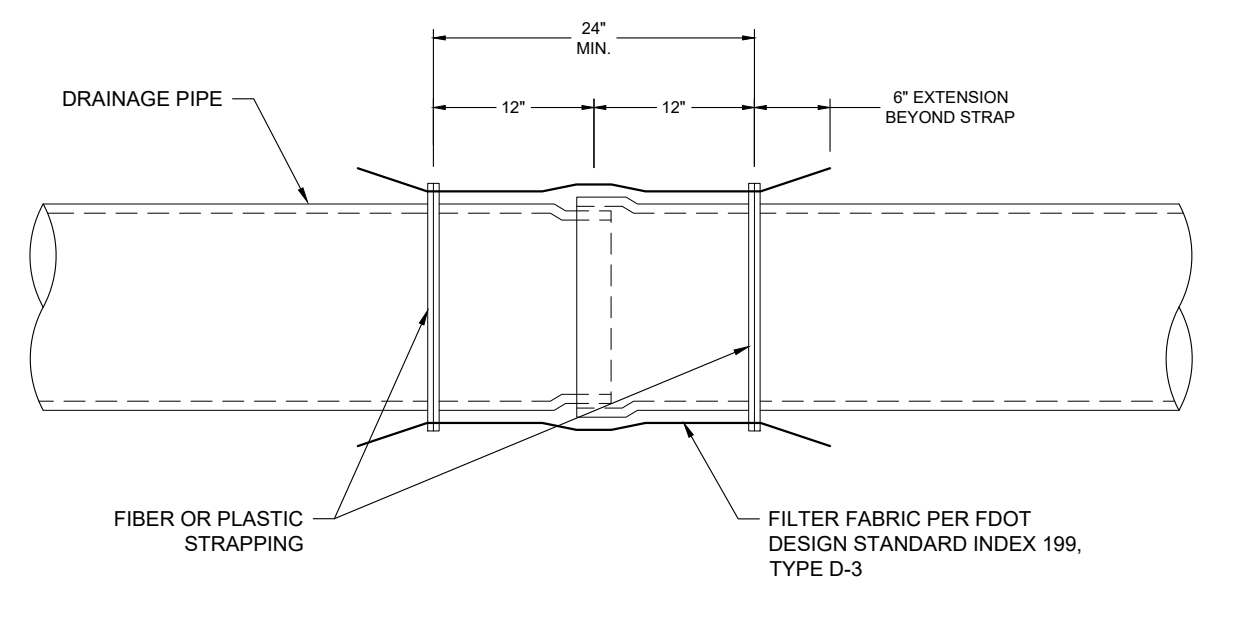
	<b>CITY OF PLANTATION</b> ENGINEERING STANDARDS PLANTATION, FLORIDA	<b>TYPICAL INLET FRAME &amp; GRANITE DETAILS</b>	SCALE: N.T.S. DRAWING NO. SD-5
	Revision: 08/20/2020		



STANDARD DIMENSIONS			
PIPE DIA. (INCHES)	D (INCHES)	T (GAUGE) (INCHES)	H (INCHES)
15"	21"	16	VARIES
18"	24"	16	VARIES
24"	30"	16	VARIES
30"	36"	14	VARIES
36"	42"	14	VARIES
42"	48"	14	VARIES

- NOTES:**
- ALUMINUM SHEET OF SAME THICKNESS (GAUGE) AS PIPE SHALL BE WELDED TO CLOSE OPENING.
  - BAFFLE SHALL BE AS MANUFACTURED BY SOUTHERN CULVERT OR ENGINEERS APPROVED EQUAL.
  - NEOPRENE GASKET (1" X 2") SHALL BE INSTALLED AT ALL BAFFLES.

	<b>CITY OF PLANTATION</b> ENGINEERING STANDARDS PLANTATION, FLORIDA	<b>POLLUTION RETARDANT BAFFLE</b>	SCALE: N.T.S. DRAWING NO. SD-9
	Revision: 08/20/2020		



- NOTES:**
- ALL PIPE LOCATED UNDER ROADWAYS AND/OR RESIDENTIAL PARKING AREAS SHALL BE REINFORCED CONCRETE PIPE (RCP), UNLESS OTHERWISE NOTED ON PLANS.
  - FILTER FABRIC SHALL BE OVERLAPPED 2'-0" MINIMUM AT ALL JOINTS, INCLUDING ALL END TREATMENTS, REGARDLESS OF PIPE CULVERT MATERIAL.
  - A CONTINUOUS PIECE OF FILTER FABRIC WRAP, CONFORMING TO TYPE "D-3" OF FDOT STANDARD INDEX 199, SHALL BE USED AT ALL JOINTS, INCLUDING STRUCTURES AND END TREATMENTS.

	<b>CITY OF PLANTATION</b> ENGINEERING STANDARDS PLANTATION, FLORIDA	<b>PIPE JOINT DETAIL</b>	SCALE: N.T.S. DRAWING NO. SD-10
	Revision: 08-20-2020		

NO.	DATE	BY	REVISIONS	
			COMMENT	

PROJECT: North Acres Park  
 1183 NW 21st Court  
 Plantation, Florida 33323

DRAWING: Storm Drainage Details

SCALE: N.T.S.
DESIGNED: S. Shalan
DATE: 11/7/2022
DRAWN BY: L. Riaño
DATE: 11/7/2022
CHECKED BY: DATE

DRAWING NO. SD-3

PROJECT NO. CP22-13



**NOTES:**

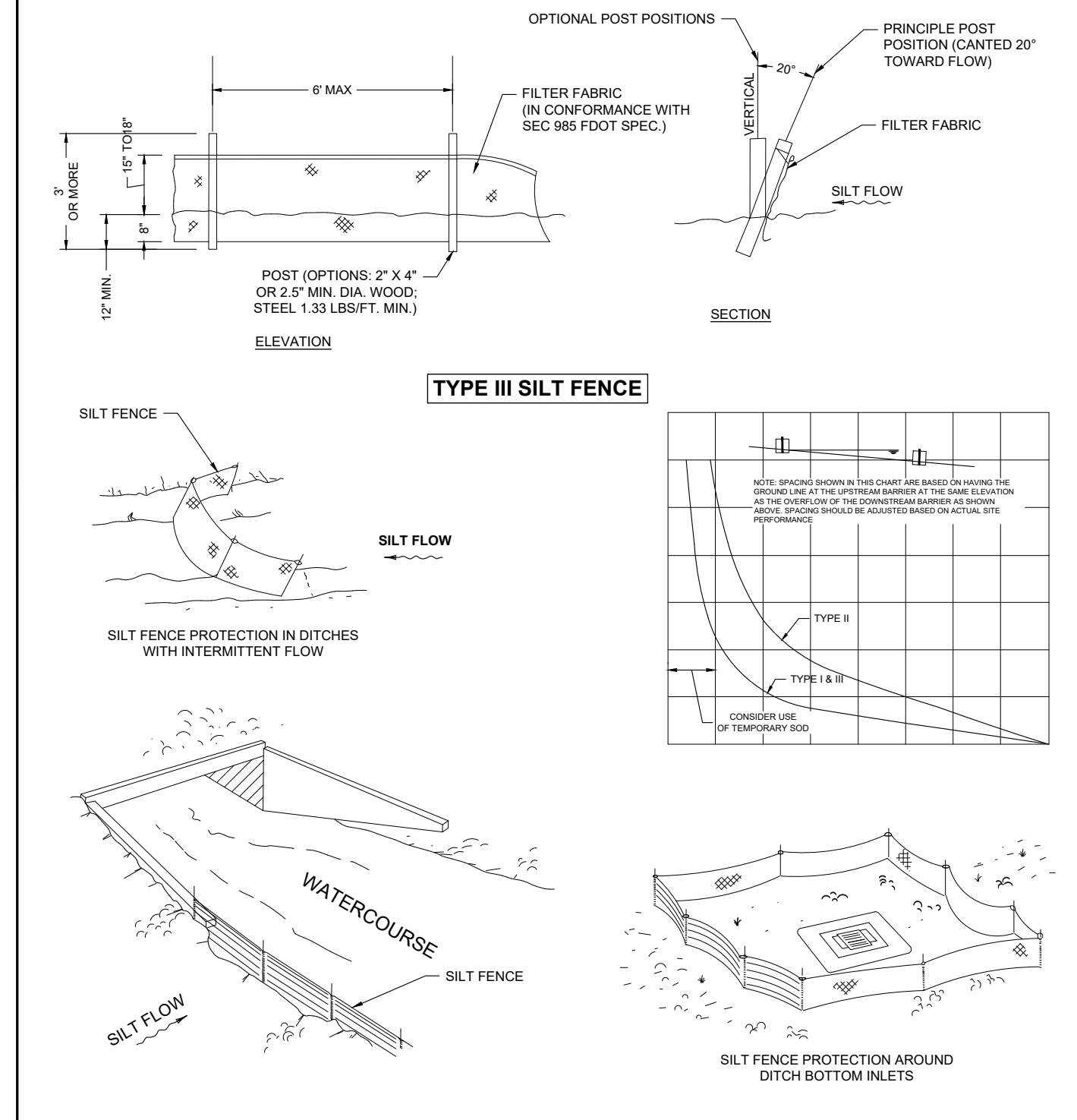
THE "EROSION AND SEDIMENT CONTROL NOTES & DETAILS" SHALL BE USED DURING CONSTRUCTION TO CONTROL AND PREVENT EROSION AND TRANSPORT OF SEDIMENT MATERIAL TO INLETS, SURFACE DRAINS, WETLANDS, LAKE AREAS NEIGHBORING PROPERTIES. THE NOTES AND DETAILS FOCUS ON STORMWATER BEST MANAGEMENT PRACTICES (BMPs) USED TO TREAT STORMWATER. IN COMPLIANCE WITH LOCAL, COUNTY, STATE AND FEDERAL REGULATORY AGENCIES. THE NOTES AND DETAILS PROVIDED ARE INTENDED AS THE MINIMUM STANDARDS. ANY EROSION CONTROL MEASURE BEYOND THAT SPECIFIED IN THE PLAN, THAT IS REQUIRED TO COMPLY WITH LOCAL, STATE, AND FEDERAL LAW, SHALL BE IMPLEMENTED.

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES TO THE SATISFACTION OF THE ENGINEER. CITY OF PLANTATION AND IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), IF APPLICABLE. EROSION AND SEDIMENT CONTROL MEASURES AND THEIR INSTALLATION SHALL BE ACCOMPLISHED USING BEST MANAGEMENT PRACTICES.
- ENTRANCE TO THE PROJECT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO ROADWAYS. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING ANY ROADWAY. WHEN WASHING IS REQUIRED IT SHALL BE DONE IN AN APPROVED WASHOUT AREA DESIGNATED ON PROJECT SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF MUD AND DEBRIS CARRIED ONTO SURROUNDING STREETS AND ROADS AS A RESULT OF CONSTRUCTION ACTIVITY ON THE SITE TO THE SATISFACTION OF THE CITY OF PLANTATION.
- THE CONTRACTOR SHALL INFORM ALL CONSTRUCTION SITE WORKERS ABOUT THE MAJOR PROVISIONS OF THE EROSION AND SEDIMENT CONTROL PLAN AND SEEK THEIR COOPERATION IN AVOIDING THE DISTURBANCE OF THESE CONTROL MEASURES.
- THE CONTRACTOR SHALL PROVIDE ROUTINE MAINTENANCE OF PERMANENT AND TEMPORARY EROSION CONTROL FEATURES UNTIL THE PROJECT IS COMPLETE AND ALL BARED SOIL STABILIZED.
- THE CONTRACTOR SHALL SWEEP ALL ADJACENT ROADWAYS AND PARKING AREAS THAT ARE AFFECTED BY THE CONSTRUCTION PROCESS ON A DAILY BASIS OR AS REQUIRED.
- ANY DISCHARGE OF STORMWATER RUNOFF FROM THIS SITE SHALL BE THROUGH A CONTROL DEVICE TO CONTROL TURBIDITY AND SEDIMENT TRANSPORT. THIS INCLUDES THE DISCHARGE FROM ANY DEWATERING OPERATIONS.
- THE CONTRACTOR SHALL TAKE ALL REASONABLE MEANS TO ELIMINATE THE TRANSPORT OF DUST FROM THE PROJECT SITE. SPECIAL MEASURES, SUCH AS PERIODICALLY APPLYING WATER TO THE WORK SITE TO PREVENT DUST SHALL BE INCORPORATED INTO THE CONTRACTOR'S WORK PLAN.
- UPON COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL REMOVE ALL EROSION AND SEDIMENT CONTROL MEASURES AND EXISTING AND NEWLY CONSTRUCTED STORM DRAIN SYSTEMS ASSOCIATED WITH THIS PROJECT SHALL BE INSPECTED AND CLEARED OF ACCUMULATED SEDIMENTS AND DEBRIS.
- FOR ADDITIONAL INFORMATION PERTAINING TO EROSION AND SEDIMENT CONTROL MEASURES THE CONTRACTOR CAN REFER TO THE FLORIDA STORMWATER, EROSION AND SEDIMENTATION CONTROL MANUAL, ISSUED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP).

**CITY OF PLANTATION**  
ENGINEERING STANDARDS  
PLANTATION, FLORIDA

EROSION AND SEDIMENT CONTROL NOTES

SCALE: N.T.S.  
SWPP-1

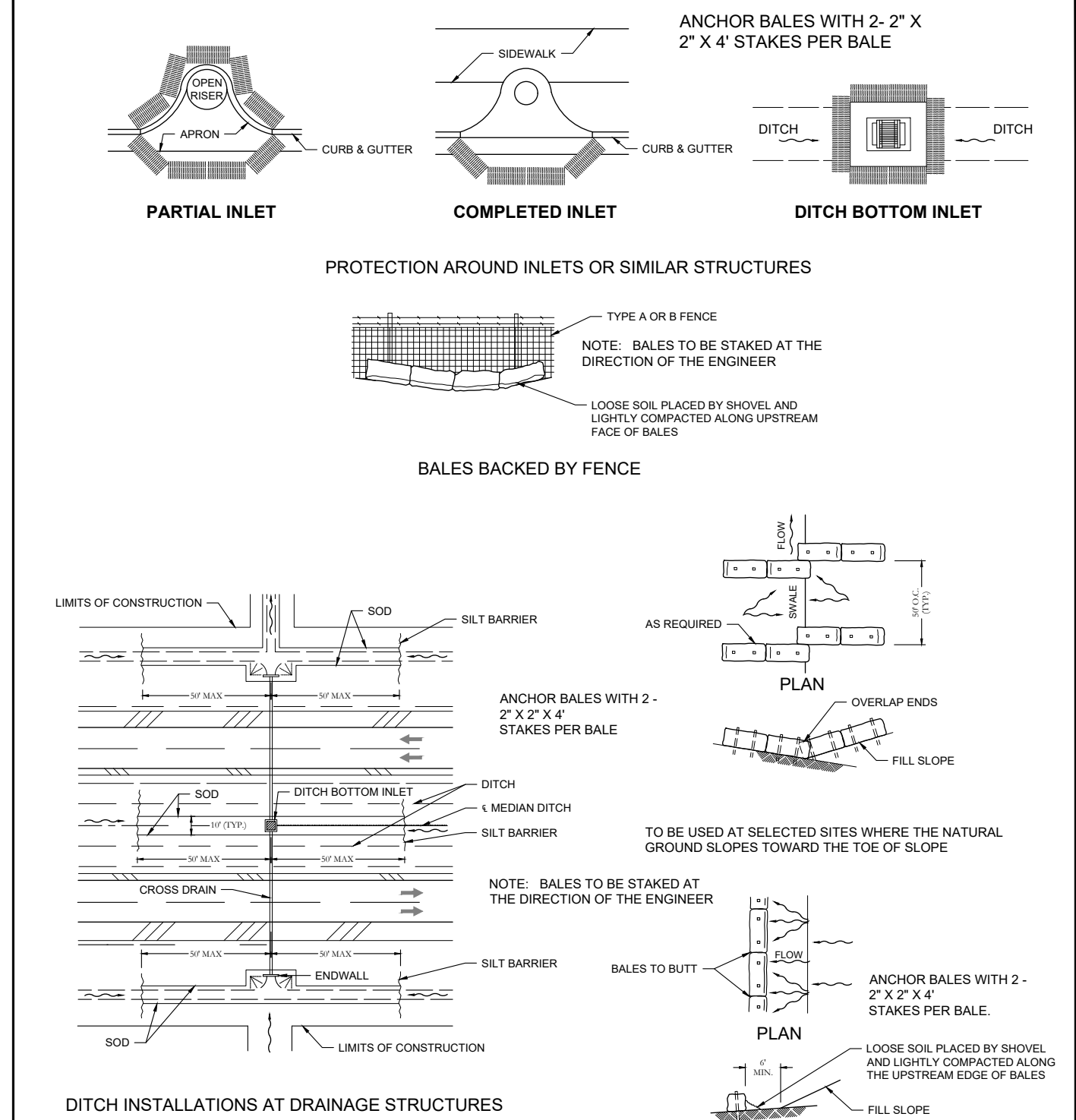


**CITY OF PLANTATION**  
ENGINEERING STANDARDS  
PLANTATION, FLORIDA

SILT FENCE APPLICATIONS

SCALE: N.T.S.  
SWPP-2

Revised: 08-20-20

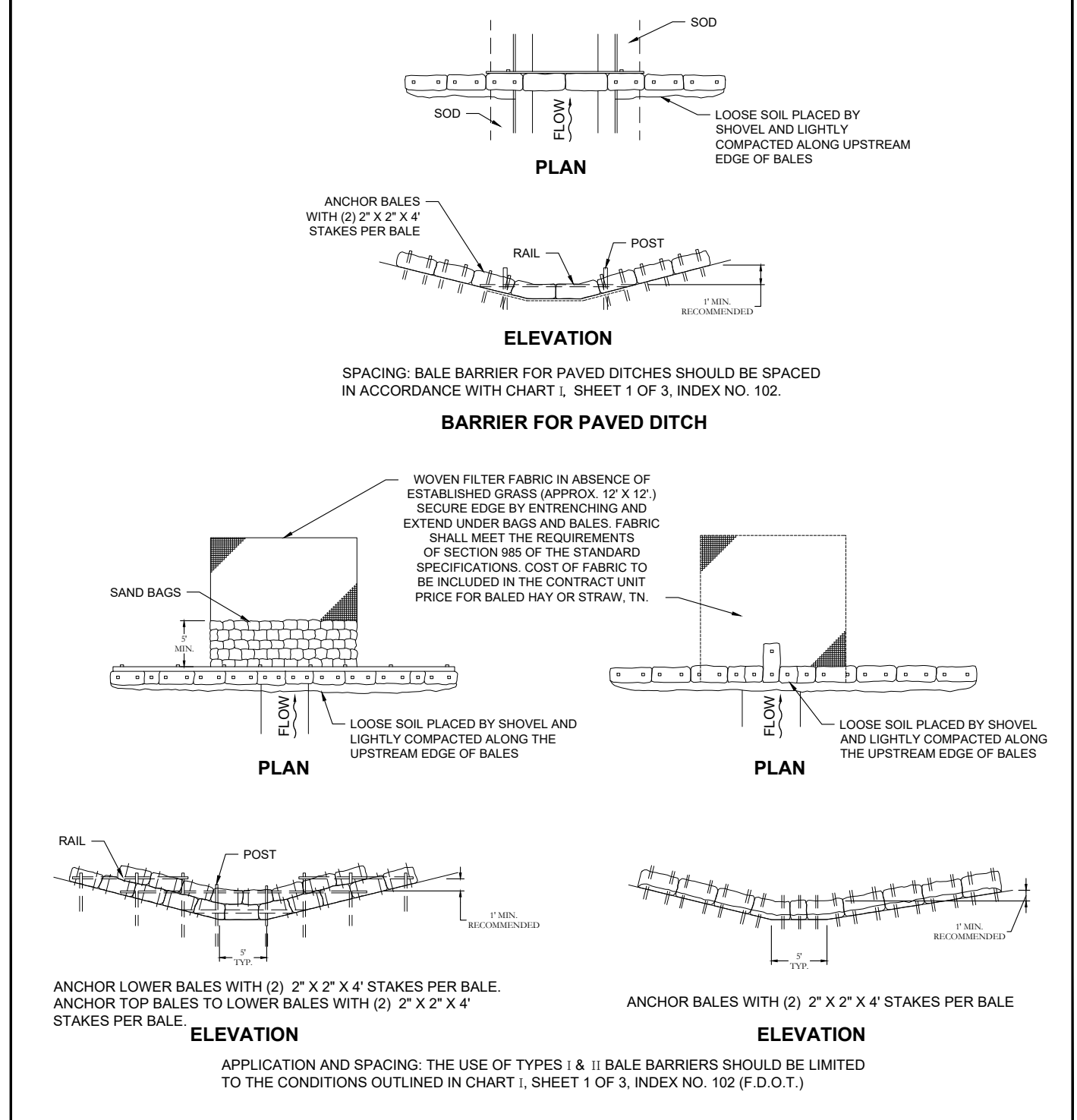


**CITY OF PLANTATION**  
ENGINEERING STANDARDS  
PLANTATION, FLORIDA

HAY BALE LOCATION DETAIL

SCALE: N.T.S.  
SWPP-5

08/20/20

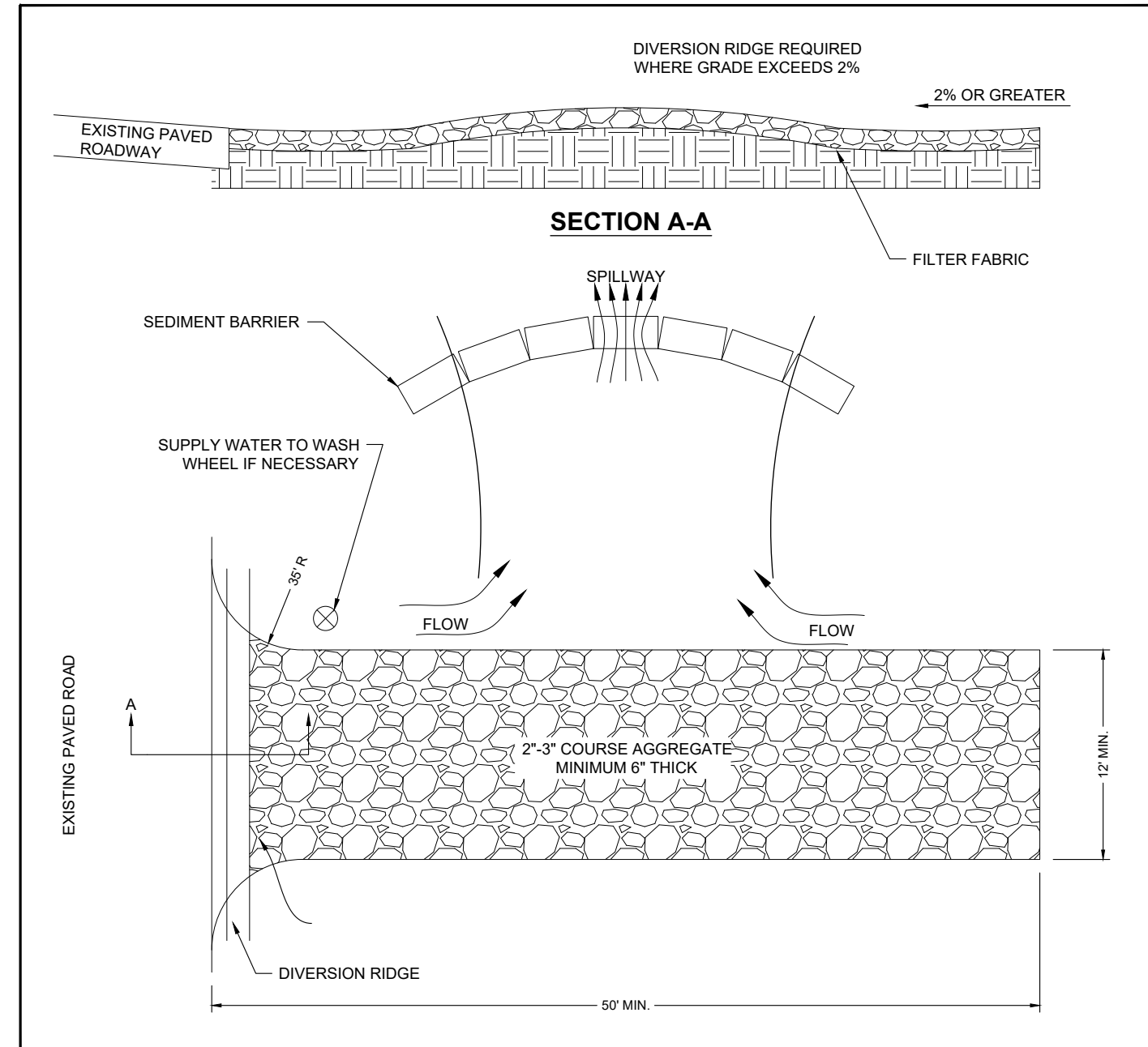


**CITY OF PLANTATION**  
ENGINEERING STANDARDS  
PLANTATION, FLORIDA

HAY BALE BARRIERS DETAIL

SCALE: N.T.S.  
SWPP-6

Revised: 08-20-20

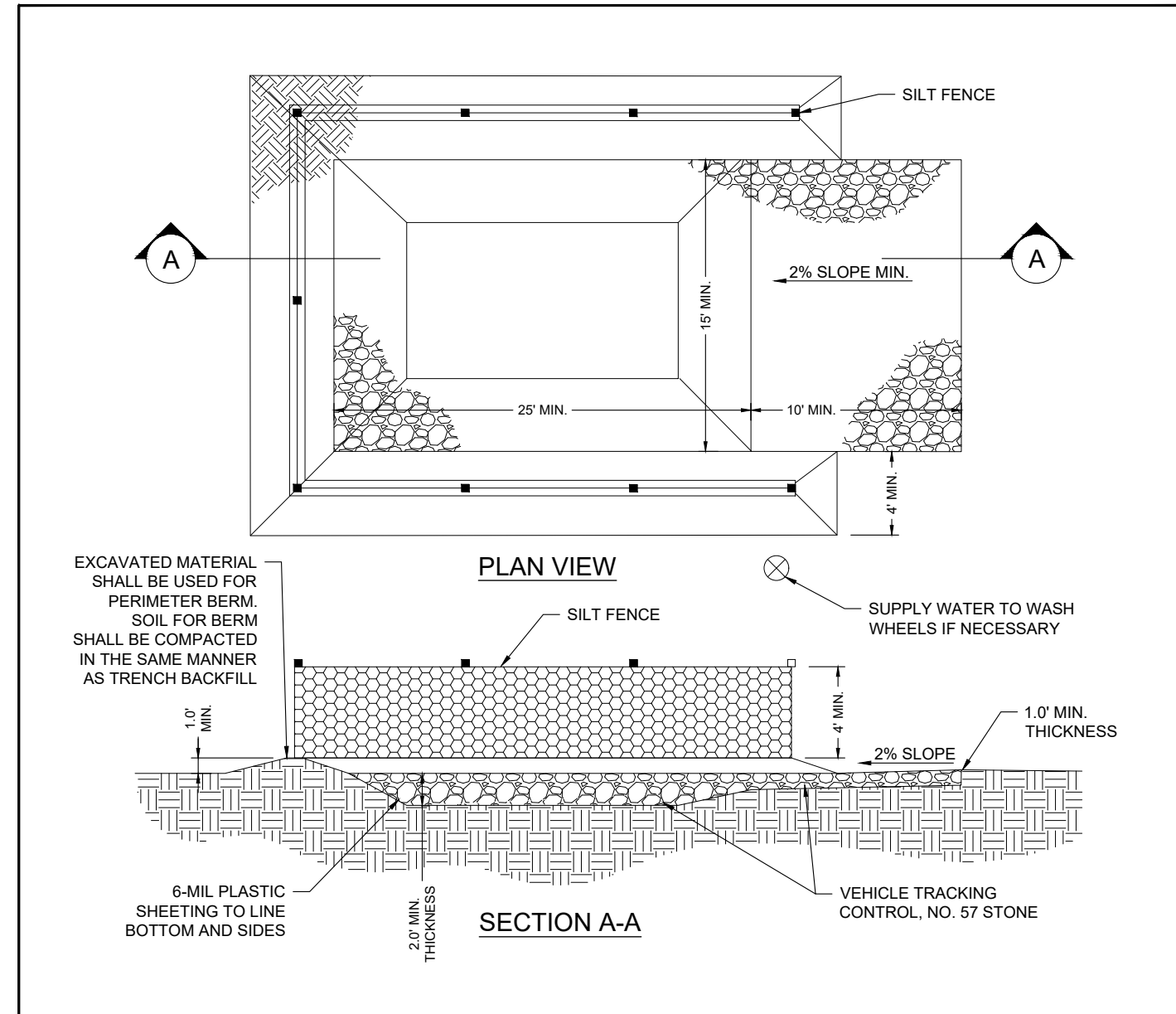


**CITY OF PLANTATION**  
ENGINEERING STANDARDS  
PLANTATION, FLORIDA

TEMPORARY CONSTRUCTION ACCESS RD

SCALE: N.T.S.  
DRAWING NO. SWPP-9

08-20-2020



**CITY OF PLANTATION**  
ENGINEERING STANDARDS  
PLANTATION, FLORIDA

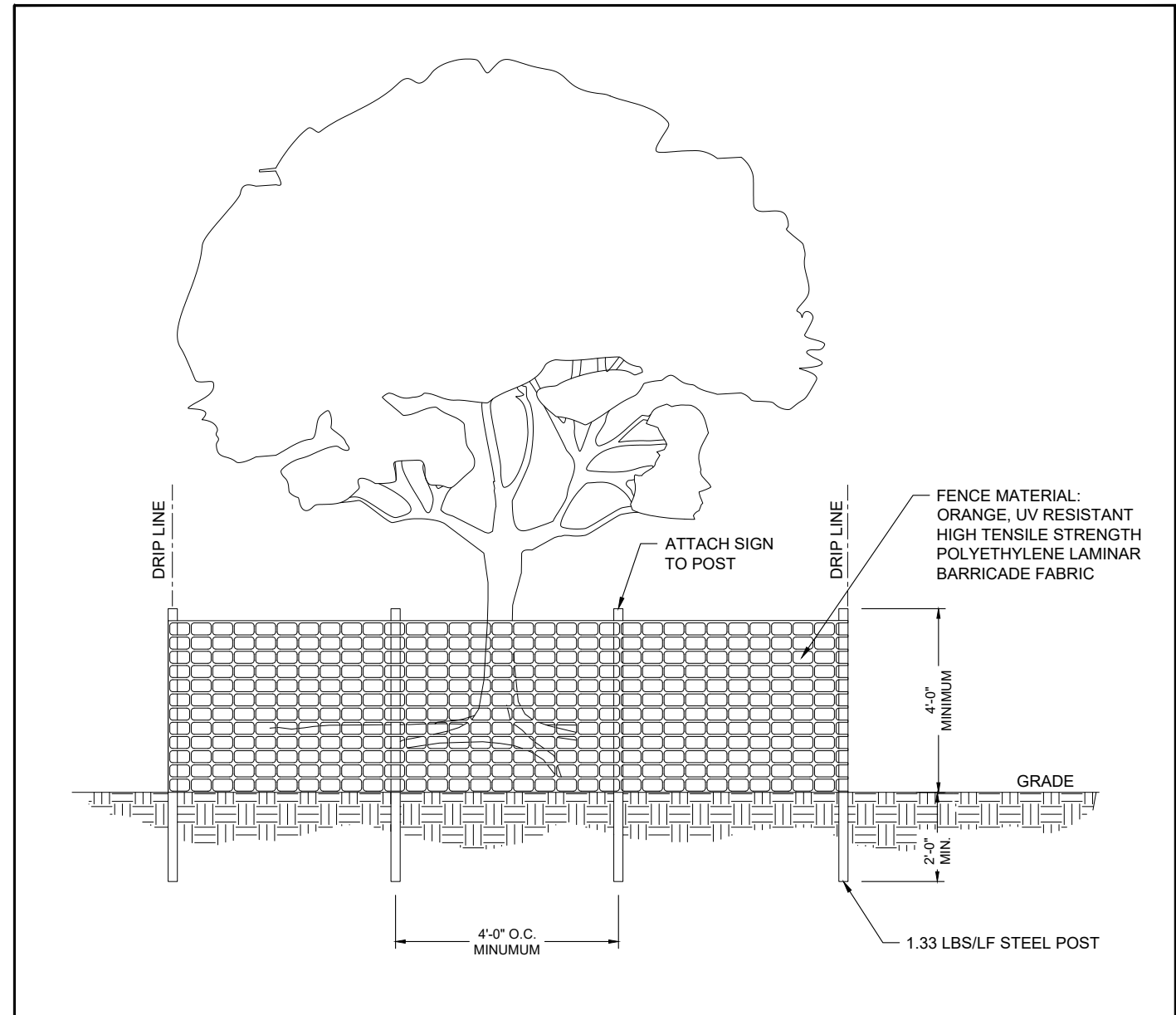
CONCRETE WASHOUT AREA DETAIL

SCALE: N.T.S.  
DRAWING NO. SWPP-10

Revision: 08-20-2020

**CONCRETE WASHOUT AREA INSTALLATION NOTES:**

- CONCRETE WASHOUT AREAS SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
- VEHICLE TRACKING CONTROL IS REQUIRED AT THE ACCESS POINT TO ALL CONCRETE WASHOUT AREAS.
- A CURB STEP SHALL BE IMPLEMENTED IF A CURB EXISTS AT THE ACCESS POINT TO THE CONCRETE WASHOUT AREA.
- HIGHLY VISIBLE SIGNS SHALL BE PLACED AT THE CONSTRUCTION SITE ENTRANCE, WASHOUT AREA AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION(S) OF THE CONCRETE WASHOUT AREA(S) TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRIGS.
- CONCRETE WASHOUT MATERIALS SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
- CONCRETE WASHOUT AREAS SHALL BE ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
- SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
- CONCRETE WASHOUT AREAS SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
- WHEN CONCRETE WASHOUT AREAS ARE REMOVED, EXCAVATIONS SHALL BE FILLED WITH SUITABLE COMPACTED BACKFILL AND TOP SOIL, ANY DISTURBED AREAS ASSOCIATED WITH INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF CONCRETE WASHOUT AREAS SHALL BE ROUGHENED, SEEDED AND MULCHED.



**CITY OF PLANTATION**  
ENGINEERING STANDARDS  
PLANTATION, FLORIDA

TREE PROTECTION FENCE

SCALE: N.T.S.  
DRAWING NO. SWPP-12

Revision: 08-20-2020

**NOTES:**

- ALL PLANTS WITHIN 25'-0" OF WORK AREA DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING AS ILLUSTRATED.
- INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE, UNLESS OTHERWISE DIRECTED BY ENGINEER, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.
- TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

NO.	DATE	BY	REVISIONS	
			COMMENT	

**North Acres Park**  
1183 NW 21st Court  
Plantation, Florida 33323

Storm Water Details

PROJECT: DRAWING

SCALE: N.T.S.

DESIGNED BY: S. Shalan  
DATE: 11/7/2022

DRAWN BY: L. Riaño  
DATE: 11/7/2022

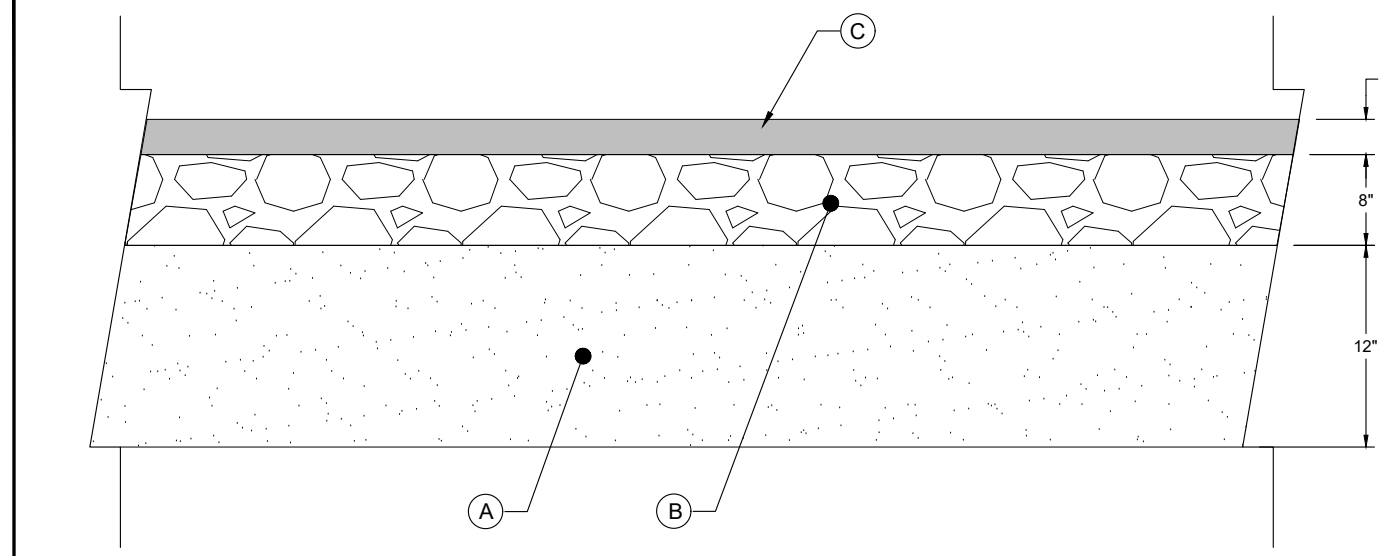
CHECKED BY: DATE

DRAWING NO. SD-4

PROJECT NO. CP22-13

SHEET NO. 1 OF 1

- ALL MATERIALS AND INSTALLATION METHODS SHALL BE IN ACCORDANCE WITH THE CITY OF PLANTATION DESIGN STANDARDS, THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), AND THE FDOT DESIGN STANDARDS (LATEST EDITION).
- THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), LATEST EDITION, SHALL APPLY TO THE DESIGN AND CONSTRUCTION OF PAVEMENT MARKINGS, SIGNING, REFLECTIVE PAVEMENT MARKERS (RPMs) AND GEOMETRICS ON THE ENGINEERING PLANS, UNLESS NOTED OTHERWISE.
- THE ASPHALT PAVEMENT, LIMEROCK BASE AND STABILIZED SUBGRADE THICKNESS PRESENTED IN DETAILS REFLECTS THE MINIMUM REQUIREMENTS FOR ALL ROADWAYS, UNLESS OTHERWISE NOTED.
- COMPACTIONS, STABILITY AND DENSITY TESTING FOR PAVEMENT, LIMEROCK BASE AND SUBGRADE SHALL BE PERFORMED IN ACCORDANCE WITH FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," LATEST EDITION.
- THE CONTRACTORS SHALL PROVIDE, AT THEIR OWN EXPENSE, A CERTIFIED ENGINEERING LABORATORY TO PERFORM ALL FIELD AND LABORATORY TESTING REQUIRED TO VERIFY THAT CONSTRUCTION HAS BEEN PERFORMED IN ACCORDANCE WITH PLANS AND SPECIFICATIONS. ANY ADDITIONAL TESTS REQUIRED DUE TO FAILURE OF INITIAL TESTING SHALL ALSO BE PERFORMED AT THE EXPENSE OF THE CONTRACTOR.
- CONCRETE DESIGN MIXES SHALL MEET FDOT DESIGN MIX AND SPECIFICATION REQUIREMENTS AS STATED IN THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," LATEST EDITION.
- CONCRETE CURBS AND SIDEWALKS SHALL BE CONSTRUCTED WITH 3,000 PSI CONCRETE AT 28 DAYS.
- CONCRETE DELIVERY TICKETS SHALL BE PROVIDED TO THE CITY REPRESENTATIVE PRIOR TO PLACEMENT. THE DELIVERY TICKETS SHALL SHOW ALL REQUIRED ORIGINAL APPROVED DESIGN MIX DATA AND BATCH ADJUSTMENTS AND SUBSTITUTED MATERIAL. THE ENGINEER MAY DISQUALIFY ANY CONCRETE PRODUCTION FACILITY FOR NON-COMPLIANCE WITH SPECIFICATION REQUIREMENTS.
- THREE (3) CONCRETE CYLINDERS SHALL BE TAKEN AND TESTED (1 AT 14 DAYS AND 1 AT 28 DAYS) FOR EVERY BATCH OF CONCRETE PLACED. TEST RESULTS SHALL THEN BE PROVIDED TO THE CITY ENGINEER OR THEIR REPRESENTATIVE AS THEY BECOME AVAILABLE.
- ASPHALT SPECIFICATIONS SHALL MEET FDOT STANDARDS AND THE CONTRACTOR SHALL PROVIDE AN ASPHALT MIX THAT MEETS THE FDOT MINIMUM REQUIREMENTS AS STATED IN SECTION 334.2 OF THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," LATEST EDITION. THE CONTRACTOR MUST PROVIDE DOCUMENTATION FROM A FLORIDA STATE-CERTIFIED BATH PLANTS CERTIFYING THAT THE APPROVED SPECIFICATIONS HAVE BEEN MET.
- ASPHALT PAVING SLIPS SHALL BE PROVIDED TO THE CITY OF PLANTATION FIELD REPRESENTATIVE AT THE TIME OF PLACEMENT.
- THE ROADWAY CROWN SHALL HAVE A STANDARD 2% CROSS SLOPE.
- ALL ROADWAYS WITH CURB AND GUTTER SECTIONS SHALL HAVE A STANDARD, A MINIMUM LONGITUDINAL SLOPE OF 0.30%.
- THE CONTRACTOR SHALL REMOVE ANY MUCK AND PEAT IDENTIFIED WITHIN RIGHTS OF WAY, EASEMENTS, OR OTHER AREAS THAT WILL BE DEVELOPED WITH ROADS, ALLEYS, PARKING SIDEWALKS OR SIMILAR "HORIZONTAL" IMPROVEMENTS. THE UNSUITABLE MATERIAL SHALL BE REMOVED TO 10 FEET OUTSIDE OF THE DEVELOPED AREAS AND DISPOSED OF OFF-SITE, AND CLEAN GRANULAR COMPACTED BACKFILL USED TO REPLACE THE REMOVED MATERIAL.
- MINIMUM BACKFILL, SUBGRADE, AND BASE ROCK COMPACTION (DENSITY) REQUIREMENTS ARE AS FOLLOWS:
  - BACKFILL WITHIN STREET, ALLEY, PARKING LOT OR PATHWAYS SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
  - UTILITY TRENCH BACKFILL SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
  - SUBGRADE MATERIAL (MINIMUM OF 12 INCHES) FOR SIDEWALKS, ASPHALT PATHS, ROADS, ALLEYS, ETC., SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
  - LIMEROCK BASE MATERIAL (MINIMUM OF 8 INCHES) FOR ROADS, ASPHALT PATHS, ALLEYS, ETC., SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
- ALL ASPHALT CUTS SHALL BE SAWCUT AND RESULT IN NEAT STRAIGHT EDGE.
- ALL SIDEWALK AND CURB CUTS SHALL BE NEAT STRAIGHT CUTS PERFORMED AT NEAREST FLAGGED JOINT.
- TOP OF SOD SHALL BE PLACED ONE INCH BELOW TOP OF CURB, SIDEWALK OR EDGE OF PAVEMENT IN ACCORDANCE WITH FDOT STANDARD INDEX 105.



- 12" STABILIZED SUBGRADE, MIN. LBR 40, COMPACTED TO A DENSITY OF NOT LESS THAN 98% OF MAXIMUM DRY DENSITY PER AASHTO T-180.
- 8" LIMEROCK BASE, MIN. LBR OF 100 WITH 60% OR MORE CARBONATE CONTENT, COMPACTED TO A DENSITY OF NO LESS THAN 98% OF MAXIMUM DRY DENSITY PER AASHTO T-180.
- 2" ASPHALT SURFACE COURSE, TYPE SP-9.5 (IN TWO 1" LIFTS).

**CITY OF PLANTATION**  
ENGINEERING STANDARDS  
PLANTATION, FLORIDA

Roadway Construction Notes

SCALE: N.T.S.  
DRAWING NO. RD-1

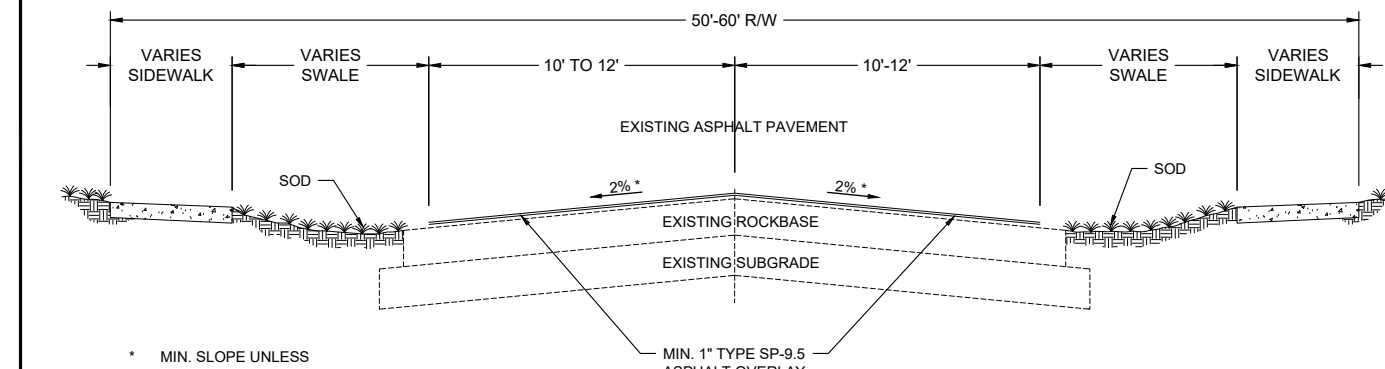
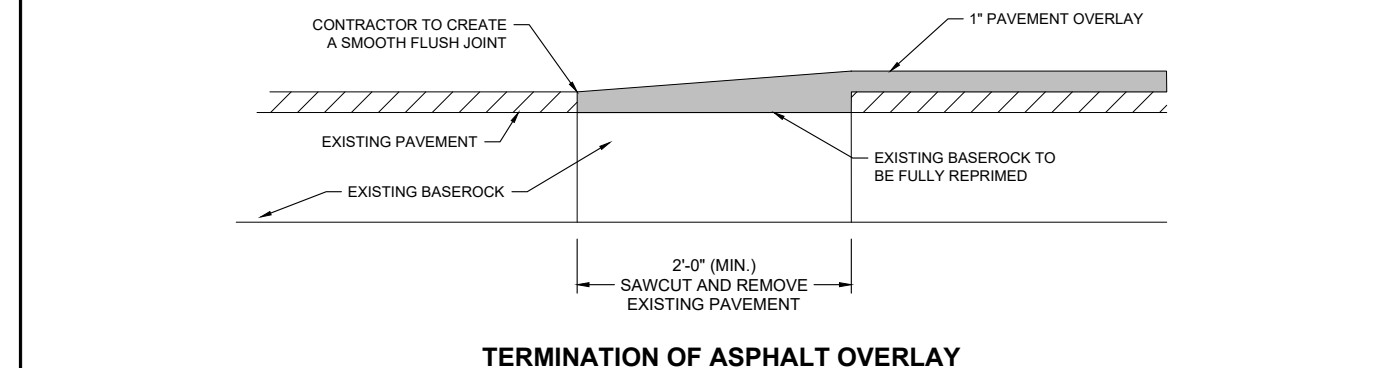
Revision: 02-01-18

**CITY OF PLANTATION**  
ENGINEERING STANDARDS  
PLANTATION, FLORIDA

Typical Asphalt Pavement Section

SCALE: N.T.S.  
DRAWING NO. RD-2

Revision: 08-08-2020



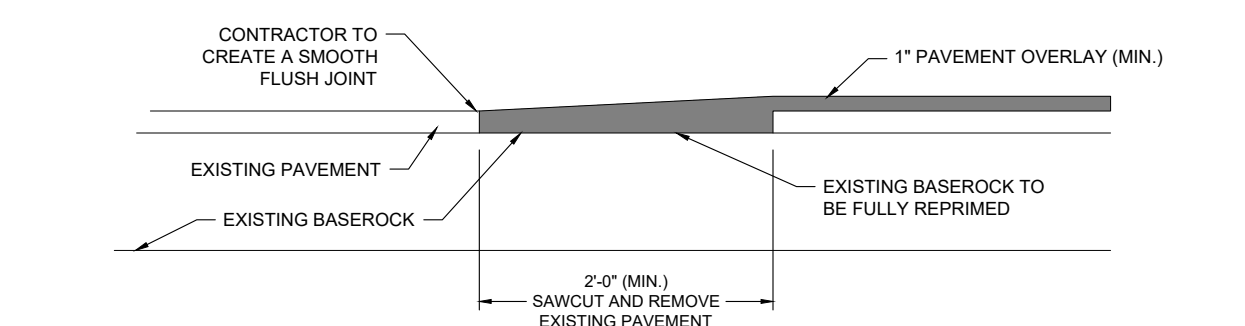
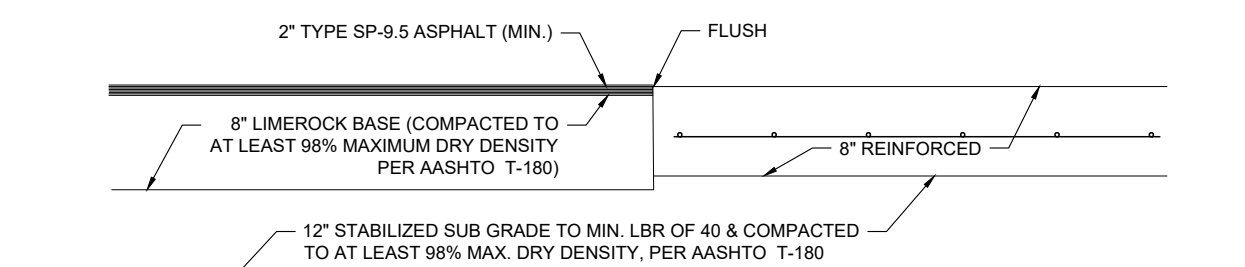
- NOTES:
- MILL 1" OF EXISTING ROADWAY. SAWCUT PAVEMENT AT PROJECT LIMITS. MATCH EXISTING GRADES AT PROJECT LIMITS.
  - MILLED AREA OF EXISTING ROADWAY SHALL BE RESURFACED WITH 1" TYPE SP-9.5 ASPHALT.

**CITY OF PLANTATION**  
ENGINEERING STANDARDS  
PLANTATION, FLORIDA

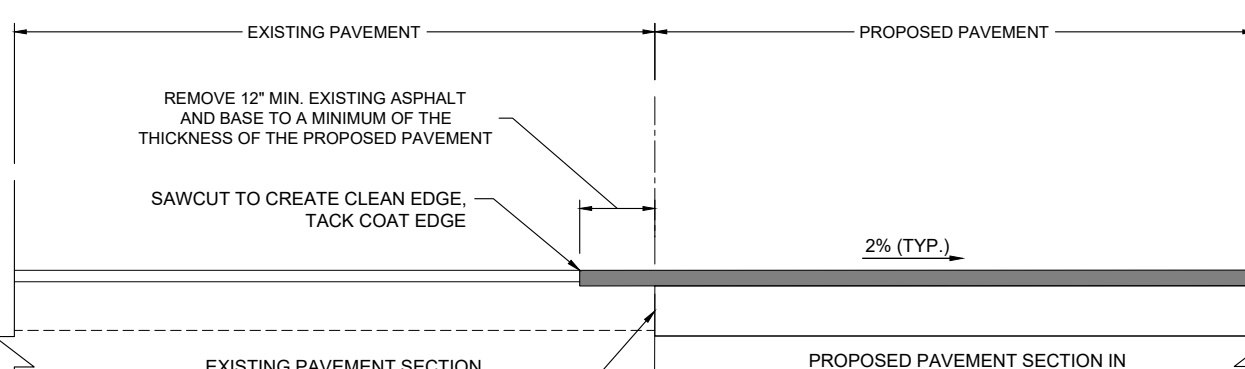
Asphalt Pavement Milling & Resurfacing

SCALE: N.T.S.  
DRAWING NO. RD-3

Revision: 08-20-2020



NOTE:  
A CROSS SLOPE CONSTRUCTED WITH ASPHALT OVERLAY SHALL 2% (0.02') A 2'-0" SECTION PER EACH ADDITIONAL 1' OF OVERLAY SHALL BE MILLED AS NECESSARY TO ACHIEVE DESIRED SLOPE.

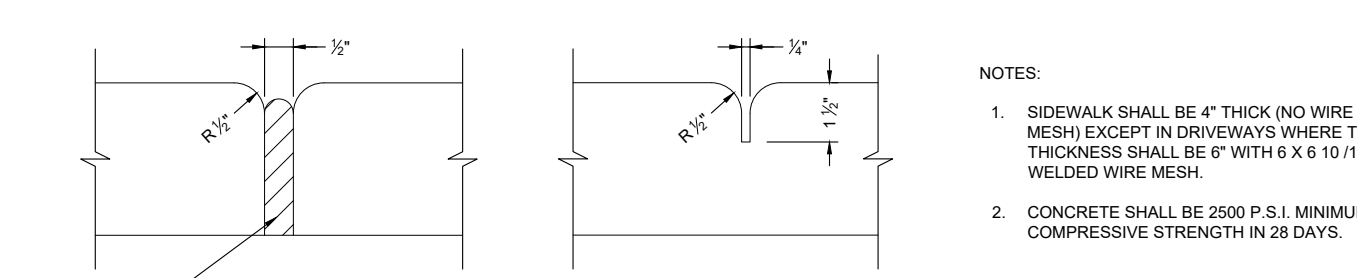
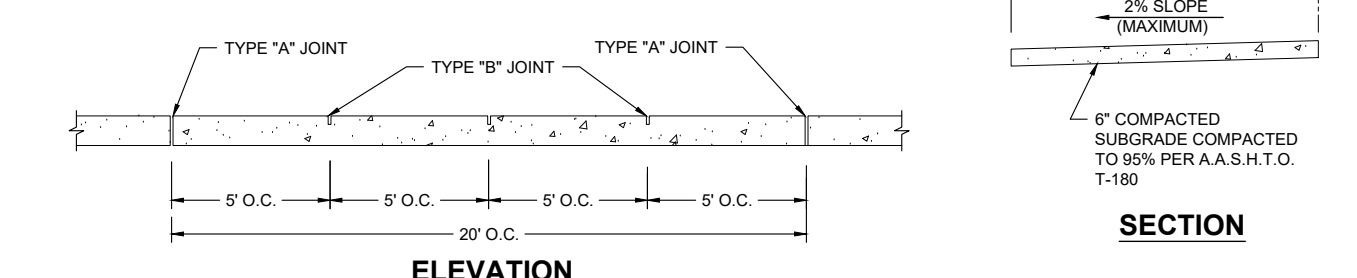
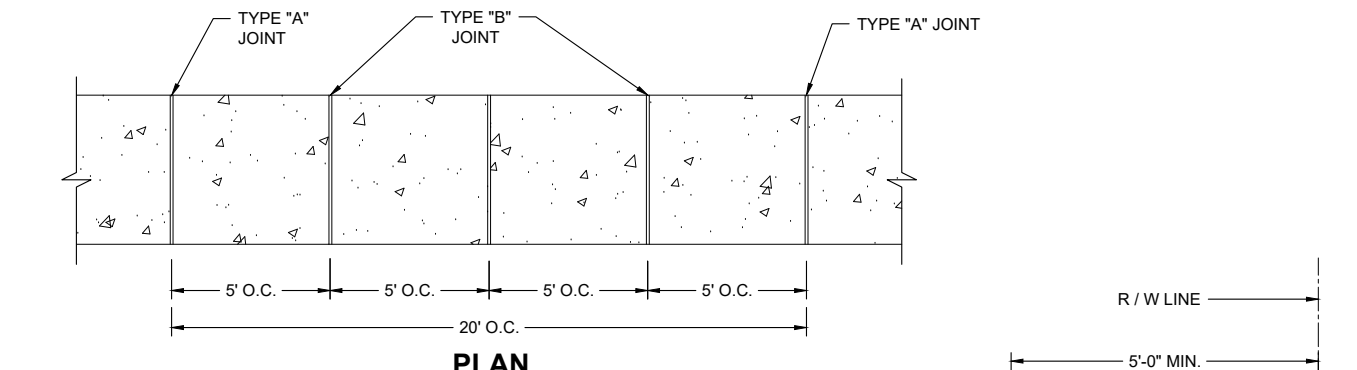


**CITY OF PLANTATION**  
ENGINEERING STANDARDS  
PLANTATION, FLORIDA

Typical Asphalt Connections

SCALE: N.T.S.  
DRAWING NO. RD-4

Revision: 08-08-2020



NOTES:

- SIDEWALK SHALL BE 4" THICK (NO WIRE MESH) EXCEPT IN DRIVEWAYS WHERE THE THICKNESS SHALL BE 6" WITH 6 X 6 TO 10 WELDED WIRE MESH.
- CONCRETE SHALL BE 2500 P.S.I. MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS.

RESIDENTIAL AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

SINGLE-FAMILY AREAS	5'
MULTI-FAMILY AREAS	5'
OTHER AREAS AS SPECIFIED BY THE CITY ENGINEER.	

TYPE	LOCATION
"A"	20'-0" CENTER TO CENTER P.C. AND P.T. OF CURVES. JUNCTION OF EXISTING AND NEW SIDEWALKS.
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS

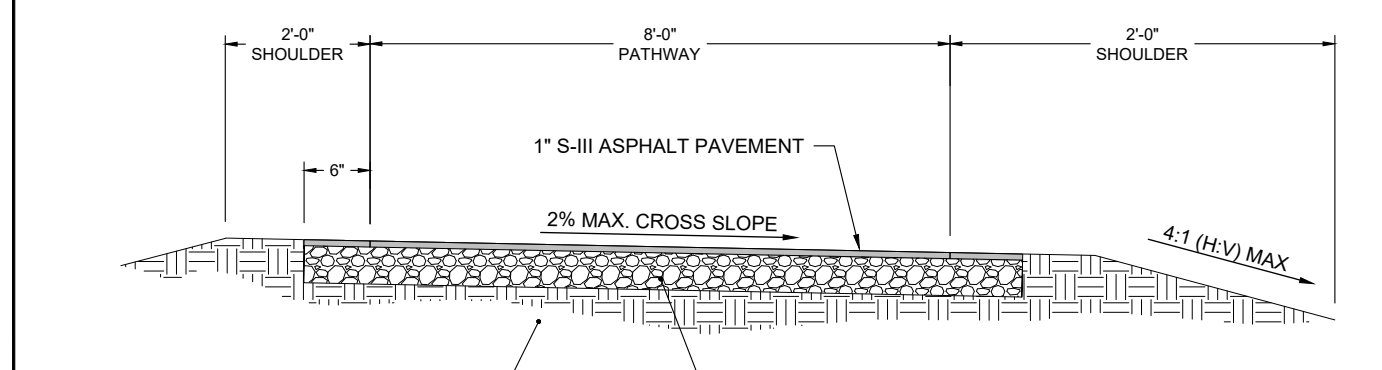
\*WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES.  
\*AT THE DISCRETION OF THE CITY ENGINEER

**CITY OF PLANTATION**  
ENGINEERING STANDARDS  
PLANTATION, FLORIDA

Typical Concrete Sidewalk Detail

SCALE: N.T.S.  
DRAWING NO. RD-20

Revision: 09-18-2017



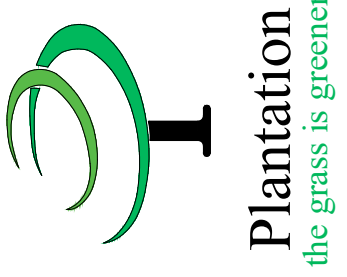
- NOTES:
- CROSS SLOPE DIRECTION VARIES. SEE LAYOUT PLANS FOR DIRECTION OF SLOPE.
  - SHOULDER TO MATCH CROSS SLOPE OF GREENWAY TRAIL.
  - CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING ALL SLOPE DISTURBED BY CONSTRUCTION.
  - NO UTILITY SURFACE COVERS/PLATES/SMALLHOLES (i.e. WATERLINE VALVE COVERS, ETC.) SHALL BE LOCATED WITHIN TRAIL AND SHALL BE MINIMUM 2 FEET FROM THE EDGE OF TRAIL.

**CITY OF PLANTATION**  
ENGINEERING STANDARDS  
PLANTATION, FLORIDA

Asphalt Pedestrian Pathway

SCALE: N.T.S.  
DRAWING NO. RD-23

Revision: 07-05-2017



**CITY OF PLANTATION**  
ENGINEERING DEPT.  
401 NW 70TH TERRACE, PLANTATION, FL 33317  
TEL: (954) 797-2282 FAX: (954) 797-2761

SAMIRA SHALAN P.E.  
CITY ENGINEER

REVISIONS	COMMENT	BY	DATE

PROJECT: North Acres Park  
1183 NW 21st Court  
Plantation, Florida 33323

DRAWING: Road / Street Details

SCALE: N.T.S.

DESIGNED	S. Shalan	DATE	11/7/2022
DRAWN BY	L. Riaño	DATE	11/7/2022
CHECKED BY		DATE	

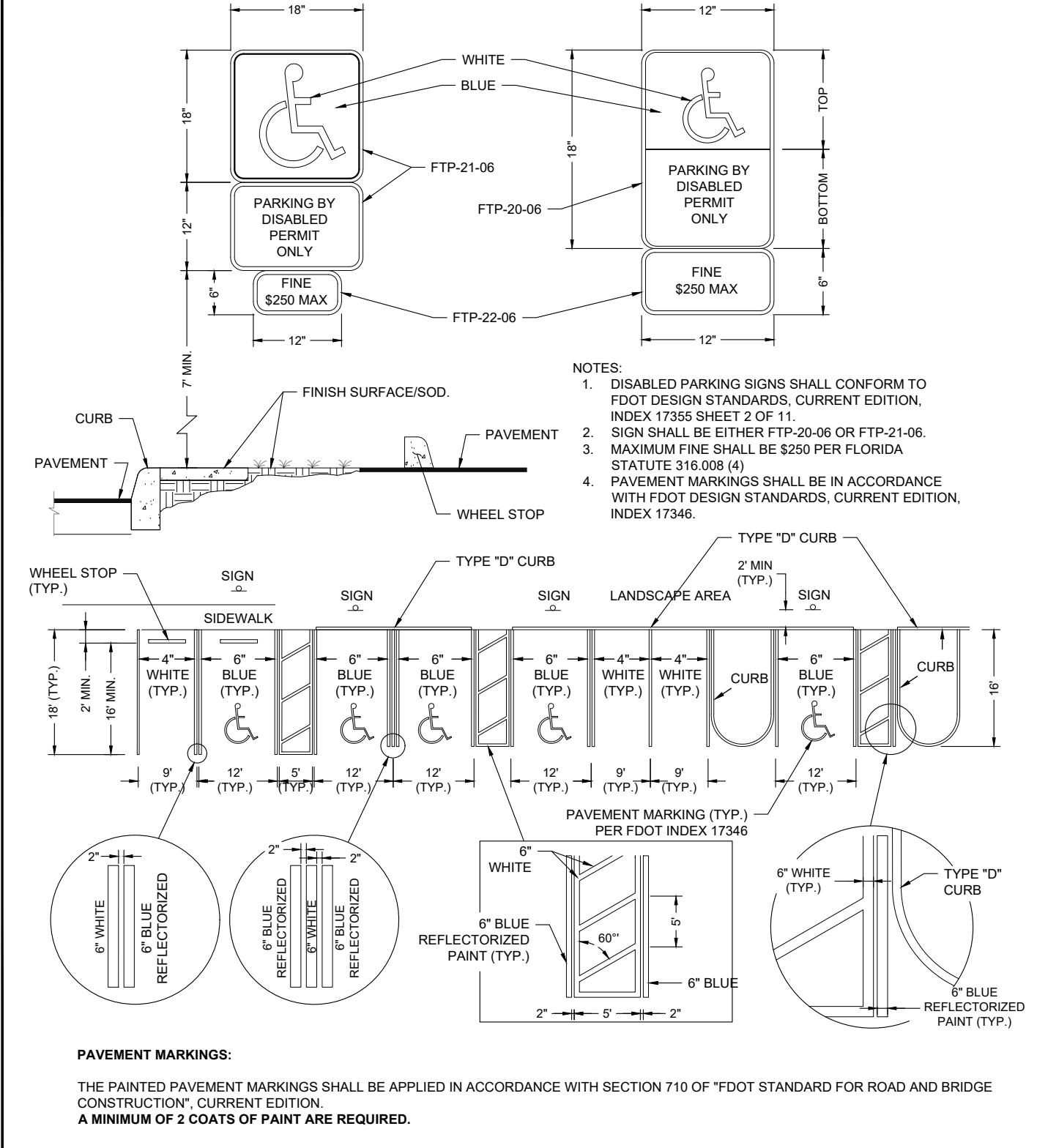
DRAWING NO. SD-5

PROJECT NO. CP22-13

SHEET NO. 1 OF 1

**PAVEMENT MARKING AND SIGNAGE GENERAL NOTES**

- ALL PAVEMENT AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD.) BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS, FDOT DESIGN STANDARDS AND THE CITY OF PLANTATION DETAILS AND SPECIFICATIONS.
- ALL PAVEMENTS MARKING AND SIGNAGE PRODUCTS USED SHALL BE ON THE FLORIDA DEPARTMENT OF TRANSPORTATION (F.D.O.T.) APPROVED PRODUCTS LIST.
- ALL SIGNAGE SHOULD BE VERTICALLY MOUNTED A MINIMUM OF 7'-0" ABOVE FINISHED GRADE AND AT A RIGHT ANGLE FACING THE TRAFFIC THEY ARE INTENDED TO SERVE.
- FOR PLACEMENT OF SINGLE AND MULTI-COLUMN SIGNS REFER TO THE FDOT DESIGN STANDARDS (CURRENT EDITION) INDEX 17302.
- STOP BARS SHALL BE 24 INCHES WIDE AND PLACED A MINIMUM OF 4 FEET BEHIND SIDEWALK OR CROSSWALK.
- ALL SIGNS SHALL BE FABRICATED ENTIRELY WITH HIGH INTENSITY DIAMOND GRADE REFLECTIVE SHEETING OR EQUAL.
- ALL PAVEMENT MARKINGS WITHIN OR ABUTTING THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC. THERMOPLASTIC MATERIAL SHALL BE PROVIDED AND APPLIED IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" (CURRENT EDITION), SECTION 711.
- ALL THERMOPLASTIC PAVEMENT MARKINGS SHALL NOT BE INSTALLED ON ROADWAY UNTIL FINAL LIFT OF ASPHALT HAS CURED FOR A MINIMUM OF 30 DAYS. UNTIL THAT THE TEMPORARY PAINTED PAVEMENT MARKINGS ARE TO BE INSTALLED.
- ALL PAINTED PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATION OR ROAD AND BRIDGE CONSTRUCTION" (CURRENT EDITION), SECTION 710.
- CHALK SHALL BE USED FOR LAYOUT OF PROPOSED PAVEMENT MARKINGS AND APPROVED BY ENGINEER PRIOR TO INSTALLATION OF PERMANENT PAVEMENT MARKINGS.



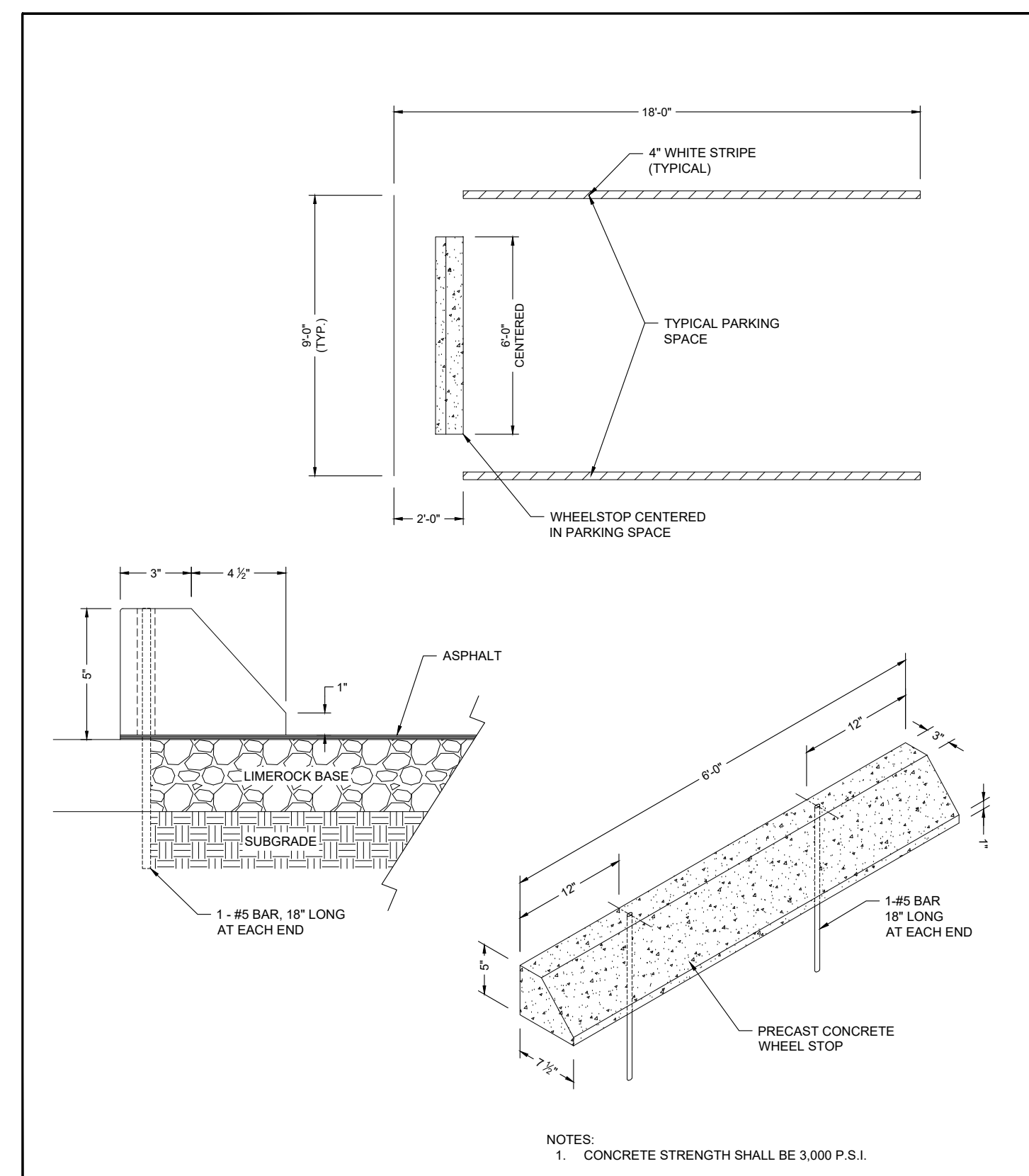
**CITY OF PLANTATION**  
ENGINEERING STANDARDS  
PLANTATION, FLORIDA

Disabled Parking  
Pavement Marking and Signage

SCALE:  
N.T.S.

DRAWING NO.  
PM-3

Revised: 02-01-18



**CITY OF PLANTATION**  
ENGINEERING STANDARDS  
PLANTATION, FLORIDA

Wheel Stop Detail

SCALE:  
N.T.S.

DRAWING NO.  
PM-4

Revision: 08/20/2020

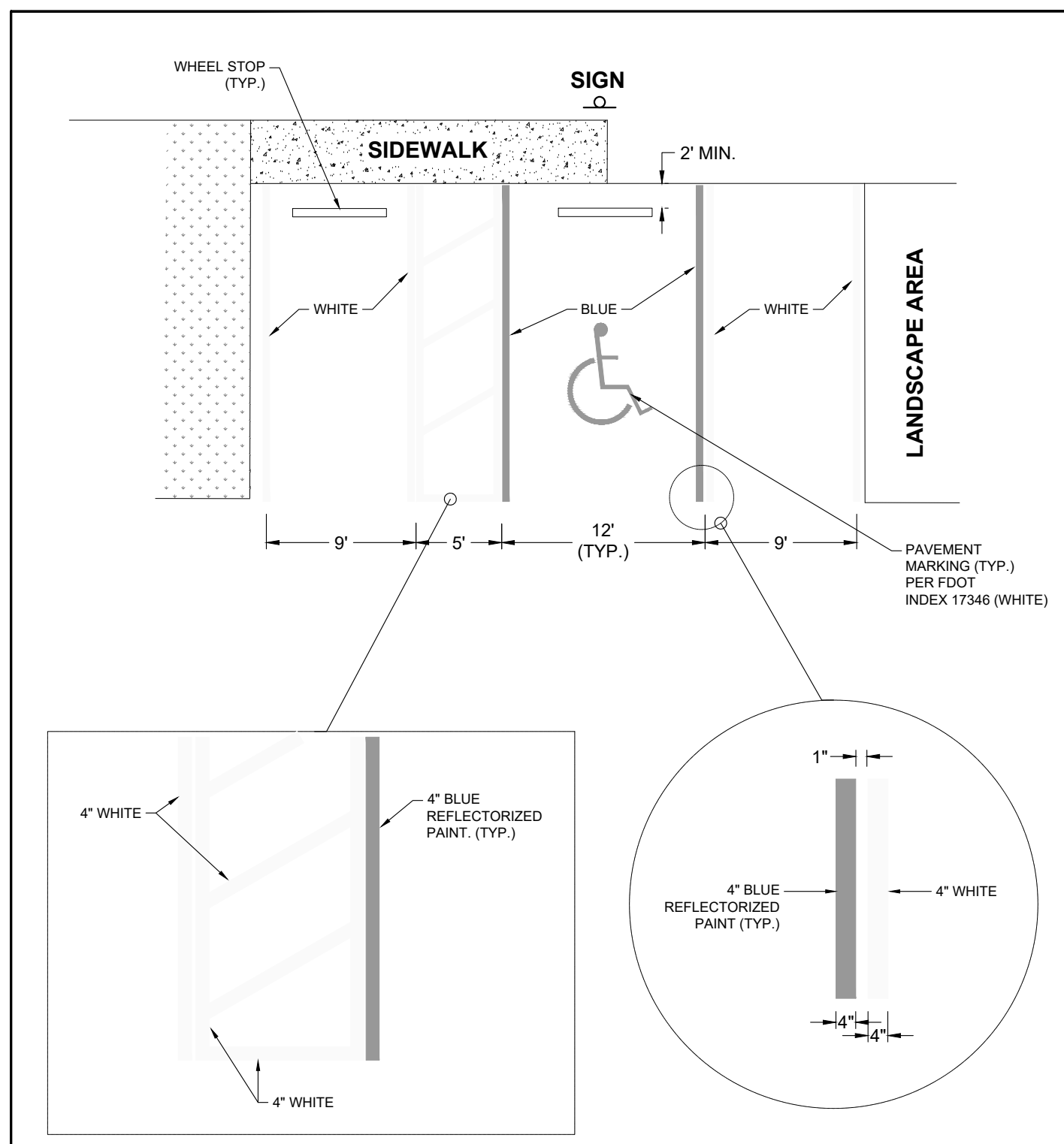
**CITY OF PLANTATION**  
ENGINEERING STANDARDS  
PLANTATION, FLORIDA

Pavement Marking & Signage  
General Notes

SCALE:  
N.T.S.

DRAWING NO.  
PM-1

07-21-2022

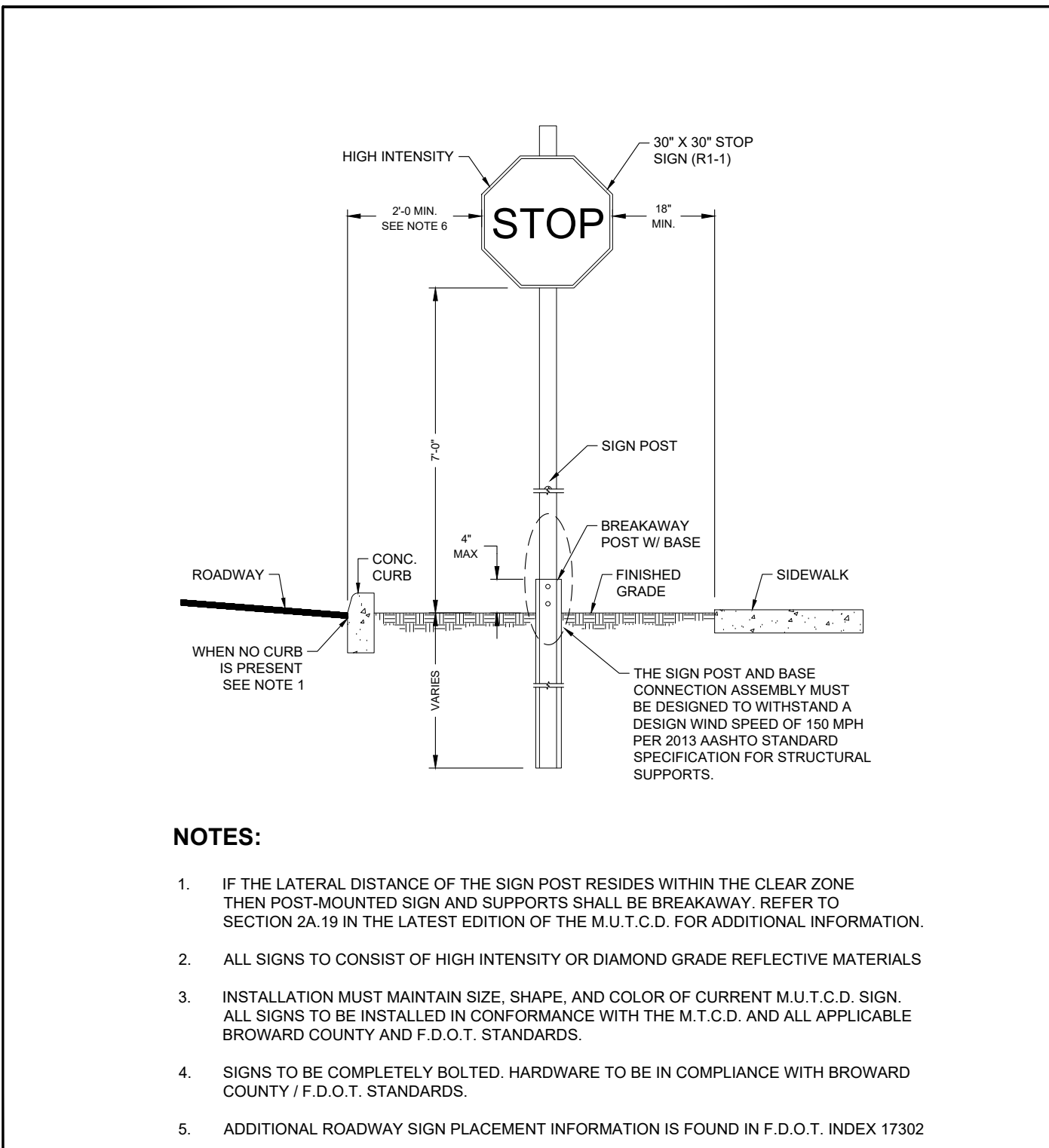


**CITY OF PLANTATION**  
ENGINEERING STANDARDS  
PLANTATION, FLORIDA

Disabled Parking Detail

SCALE:  
N.T.S.

DRAWING NO.  
PM-11



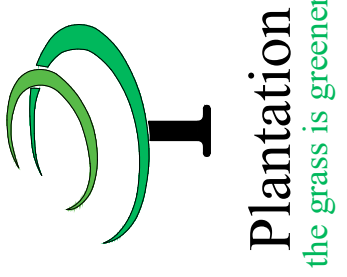
**CITY OF PLANTATION**  
ENGINEERING STANDARDS  
PLANTATION, FLORIDA

Typical Stop Sign Placement

SCALE:  
N.T.S.

DRAWING NO.  
PM-10

08/20/2020



**CITY OF PLANTATION**  
ENGINEERING DEPT.  
401 NW 70TH TERRACE, PLANTATION, FL 33317  
TEL: (954)797-2282 FAX (954) 797-2761  
SAMIRA SHALAN P.E.  
CITY ENGINEER

REVISIONS	BY	DATE	COMMENT
No.			

PROJECT  
**North Acres Park**  
1183 NW 21st Court  
Plantation, Florida 33323

DRAWING  
Pavement Marking & Signage Details

SCALE	N.T.S.
DESIGNED	S. Shalan
DATE	11/7/2022
DRAWN BY	L. Riaño
DATE	11/7/2022
CHECKED BY	
DATE	

DRAWING NO.  
**SD-6**

PROJECT NO.  
**CP22-13**

SHEET NO.



PLANTATION ACRES IMPROVEMENT DISTRICT PERMIT

TYPE OF PERMIT:  Construction  Modification of existing Permit # \_\_\_\_\_  Extension of existing Permit # \_\_\_\_\_

PROJECT TITLE: North Acres Park

STREET ADDRESS: 11831 NW 21 CT & 12001 NW 21 CT

LOCATION: Tract(s) 23 & 24 1/4 Section 25 Township 49 Range 40 East  
Plat Book 2 Page 17 Block \_\_\_\_\_ Lot \_\_\_\_\_

PURPOSE Redevelopment of a City Park known as North Acres Park (residential, agricultural, commercial, etc.)

PROJECT SIZE: This phase: 14.78 acres Total: 14.78 acres

DESCRIPTION OF WORK TO BE PERMITTED Including but not limited to: Sitework, drainage, parking lot improvements, park amenities, landscaping improvements, installation of a monument sign, and a perimeter fence.

NUMBER OF DWELLING UNITS \_\_\_\_\_ OR SQUARE FEET OF COMMERCIAL AREA \_\_\_\_\_

DATE CONSTRUCTION OR ALTERATION IS EXPECTED TO START 08/01/2023

RECEIVING CANAL FOR PROJECT DRAINAGE P.A.I.D C-6B South Canal

PROPERTY OWNER: City of Plantation

ADDRESS 400 NW 73 AVE

CITY Plantation STATE FL ZIP 33323 PHONE 954-797-2282

EMAIL sshalan@plantation.org

DEVELOPER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_ PHONE \_\_\_\_\_

EMAIL \_\_\_\_\_

PROJECT ENGINEER: Samira Shalan PE

ADDRESS: 401 NW 70 TER

CITY Plantation STATE FL ZIP 33317 PHONE 954-797-2282

EMAIL sshalan@plantation.org

AS THE PERMITTEE AND/OR OWNER OF THE PROPOSAL SET FORTH ABOVE, I DO UNDERSTAND AND AGREE THAT:

- 1. The use of or construction will be in accordance with the details of the approved drawing(s) supporting this permit; and if any changes are required, same will be cleared with the PLANTATION ACRES IMPROVEMENT DISTRICT in writing prior to initiating.
- 2. The PLANTATION ACRES IMPROVEMENT DISTRICT will be notified, as required to coordinate and schedule inspections.
- 3. Erosion, shoaling or deleterious discharges due to permitted actions will be corrected promptly at no expense to the PLANTATION ACRES IMPROVEMENT DISTRICT.
- 4. The area under permit will be maintained in a safe condition at all times or equipment will be promptly removed from the right of way of easement and that the right of way or easement will be restored to its original or better condition within a reasonable time on termination of the authorized use.
- 5. No beautification or erection of any structure or vegetation that will prohibit or limit the access of PLANTATION ACRES IMPROVEMENT DISTRICT equipment or vehicles in the right of way or easements will be permitted.
- 6. As Permittee, will hold and save the PLANTATION ACRES IMPROVEMENT DISTRICT and its successors harmless from any and all damages, claims or liabilities which may arise by reason of the construction, operation, maintenance or use of the work or structure involved in the permit.
- 7. This permit does not convey any property rights nor any rights or privileges other than those specified herein, nor relieve from complying with any law, regulation or requirement affecting the rights of other bodies or agencies.
- 8. This permit is in effect for one year, with an additional 60 day grace period. An extension must be requested if work is not completed during permit period.
- 9. To abide by the terms and conditions of the permit.

SIGNED Samira Shalan  
Owner's Signature (if not the owner, certify below)

DATE 1/31/2023

I HEREBY CERTIFY THAT I AM AN AUTHORIZED AGENT OF THE OWNER: (Attach Letter of Authorization from Owner)

\_\_\_\_\_ TITLE \_\_\_\_\_

STATE OF FLORIDA  
COUNTY OF \_\_\_\_\_

Before me personally appeared Samira Shalan as City Engineer City of Plantation to be known to be the person(s) described in or who has produced personally known identification and who executed the foregoing instrument and acknowledged before me that Samira Shalan executed said instrument for the purpose expressed.

WITNESS my hand and official seal this 31 day of January, 2023

My Commission Expires: 1/9/2026  
Judy McBride  
NOTARY PUBLIC



This permit does not become valid until signed by the Chairman of the PLANTATION ACRES IMPROVEMENT DISTRICT. This permit will expire one year, to the day, from the date signed by the Chairman.

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_ PERMIT REFERENCE NUMBER \_\_\_\_\_

**ENGINEER'S STAFF REPORT**  
FOR February 23, 2023 MEETING  
**AGENDA ITEM No.: C2**

**Action Required:** Board Approval

**Item Description:** North Acres Park

---

**PAID Number:** C0209.02

---

**Attachments:** None

---

**Summary:** This item is for approval of waiving the permit fee for this project as the applicant is the City of Plantation. Historically, the PAID Board has waved site improvement permit fees as a governmental courtesy.

---

Recommendation: APPROVE

Prepared by: BMP Date: 2/13/2023

**ENGINEER'S STAFF REPORT**  
FOR February 23, 2023 MEETING  
**AGENDA ITEM No.: D1**

**Action Required:** Board Discussion

**Item Description:** NW 2<sup>nd</sup> Street R/W Drainage

---

**PAID Number:** D2301.01

---

**Attachments:** None

---

**Summary:** Per the Board's request from the January 26<sup>th</sup>, 2023 meeting, this item has been placed on the Agenda for discussion.

---

**Recommendation:** N/A

**Comments:** \_\_\_\_\_

**Prepared by:** BMP **Date:** 2/13/2023

**ENGINEER'S STAFF REPORT**  
FOR February 23, 2023 MEETING  
**AGENDA ITEM No.: D2**

**Action Required:** Board Discussion

**Item Description:** Preparation of Monthly Agenda

---

**PAID Number:** D2301.01

---

**Attachments:** None

---

**Summary:** Per the Board's request from the January 26<sup>th</sup>, 2023 meeting, this item has been placed on the Agenda for discussion.

---

**Recommendation:** N/A

**Comments:** \_\_\_\_\_

**Prepared by:** BMP **Date:** 2/13/2023

**ENGINEER'S STAFF REPORT**  
FOR February 23, 2023 MEETING  
**AGENDA ITEM No.: D3**

**Action Required:** Summary

**Item Description:** Pump Station Improvements

---

**P.A.I.D. Number:** D1707.01

---

**Attachments:** None

---

**Summary:** The Board approved moving forward with the rehabilitation of the remaining pumps (in this order: 4,1,6,2,5), with Pump Station 1 to be done in the dry season.

Our office is currently working on preparing the contract documents for the remaining pumps.

---

**Comments:** \_\_\_\_\_

Prepared by: BMP Date: 2/16/23

**ENGINEER'S STAFF REPORT**  
FOR February 23, 2023 MEETING  
**AGENDA ITEM No.: D4**

**Action Required:** Summary

**Item Description:** Engineer's Annual Report

---

**PAID Number:** D2301.02

---

**Attachments:** Engineer's Annual Report for 2022

---

**Summary:** See attached Report.

---

Prepared by: BMP Date: 2/13/2023

2023-02-13 Engineer's Annual Report 2022\_Item D4\_Engineer's Staff Report.wpd



**ENGINEER'S ANNUAL REPORT FOR 2022**

**PLANTATION ACRES IMPROVEMENT DISTRICT**

City of Plantation, Broward County, Florida

FOR  
**PLANTATION ACRES IMPROVEMENT DISTRICT**  
1701 NW 112th AVENUE  
PLANTATION, FLORIDA 33323

**W&F** ENGINEERS  
PLANNERS  
SURVEYORS

**WINNINGHAM & FRADLEY, INC.**  
111 N.E. 44th STREET, OAKLAND PARK, FL 33334  
954.771.7440 fax:954.771.0298 www.winnfrad.com

February 23, 2023  
Project Number D2301.02

Published: February 16, 2023 (2:59pm)



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# ENGINEER'S ANNUAL REPORT FOR 2022

## PLANTATION ACRES IMPROVEMENT DISTRICT

### 1 OVERVIEW

The functions of the District in 2022 and the District's involvement with the residents and development community continued normally with the review of all building permits, drainage reservation releases, site data records, plats, and development plans.

The District's field staff performed standard maintenance of drainage facilities and canals. In addition to this, a swale obstruction evaluation was performed prior to the year's wet season at the request of the Board. This task was completed over a period of three months in three phases. All facilities within the Acres were inspected and any debris found was removed. All PAID facilities were in good condition and worked as intended. The staff also successfully operated the pumps and kept the drainage passages clear during significant events, including Hurricanes Ian and Nicole. In June, Pump Stations No. 1 and 4 received VTS radio system upgrades and became operable.

Shop drawings were reviewed and some changes were made to the final plans for Pump Station No. 3. There was an international material shortage for large ductile iron pipe which delayed the project several months. During that time, our office submitted all necessary documents for review to South Florida Water Management District (SFWMD) and were granted a permit extension to do work within the C-42 canal right-of-way. In September, the project started and was successfully completed by mid November.

A Resolution was approved by the Board at its June meeting for an amendment to Section 2.2.10 "Addressing the Board," of the District's Policy and Procedure manual to permit public comment on each agenda item on which the District is taking action at a District meeting. Other provisions related to permitting each member of the public to have three minutes to speak on items, as well as rules to decorum and topics for discussion were also included in this Resolution.

The State mandated 20-Year Needs Analysis was completed by the engineering staff and submitted to the County in June of 2022.

The District Map was updated, and graphical and tabular inventory of the drainage elements within the District continued.

The total rainfall for the year was approximately 64 inches, which was 2 inches less than 2021. The 30-year County average is 60.3 inches per year.

## 2 REGULATORY REVIEW

### 2.1 Building Permit Activity

The review for building permits included reviewing the building plans, reviewing the final survey for approval of the Certificates of Occupancy, preparing encroachment agreements, and submitting unique building permit requests to the Board. The building permits issued were down by 11.4% from 2021, averaging 14 per month. Certificates of Occupancy for new homes were down by 27.3% from 2021, averaging less than one per month.

The monthly summary of building permit review is as follows:

MONTH	BUILDING PERMITS	CERTIFICATES OF OCCUPANCY	ENCROACHMENT AGREEMENTS
January	14	0	1
February	8	1	0
March	19	0	0
April	15	2	0
May	13	0	1
June	17	1	0
July	20	1	0
August	17	2	0
September	14	1	0
October	11	0	0
November	6	0	1
December	10	0	0
<b>TOTAL</b>	<b>164</b>	<b>8</b>	<b>3</b>

**Table 1 - Building Permits**

### 2.2 Code Violations

There were nine Notices of Violation issued this year, of which six were resolved and three have not complied as of yet.

### 2.3 Reservation Releases and Easement Vacations

Reservation Releases are granted when all easements on the subject property have been dedicated. If easements are not dedicated, the request for a release of reservation is denied. This year there was one request for release of reservations: NW 2<sup>nd</sup> Street & NW 112<sup>th</sup> Ave Right-of-Way vacation, which has not been approved, to date.

### 2.4 Site Data Records

Site Data Records are prepared for single lots less than five acres that have been previously subdivided by deed and sold without being platted. There was one Site Data Record submitted this year, which was approved.

### 2.5 Plats

There was one new plat submitted to the Board this year, as follows:

PLAT NAME	DESCRIPTION	LOCATION	STATUS
4 <sup>th</sup> Street Estates	Re-plat of eleven residential lots to four residential lots.	11200-11350 NW 4 <sup>th</sup> St	Approved

Table 2 - Plats

### 2.6 Paving and Drainage Plans

Permits are issued after Board approval is granted and security requirements are met. One paving and drainage plan was submitted to the Board this year: Flamingo Plaza Site Improvements (located on the SE corner of W. Sunrise Boulevard and N. Flamingo Road), which was approved.

### 2.7 Permit Status

A permit for construction is issued after a plan is approved and all conditions and security requirements have been met. The permit generally expires one year from the date it is issued. Board approval expires six months from issuance if a permit has not been granted.

There were no new active permits this year.

### **3 DISTRICT PROJECTS**

#### **3.1 Waterways and Neighborhood Maintenance**

The following projects were completed by District staff:

1. Routine canal maintenance.
2. Canal bank and access road maintenance. Debris removal.
3. Canal trash racks cleaned.
4. Rear swale maintenance in S. Acres.
5. Canal bank maintenance: clean excessive vegetative growth removal.
6. Removed fallen tree from Canal 1.

#### **3.2 Swale Obstruction Evaluation**

At the Board's request, District staff was instructed to inspect all of the existing drainage facilities located within Plantation Acres Improvement District prior to the beginning of last year's wet season. It was agreed that the inspections would be performed in three (3) Phases.

The area for Phase 1 was bound to the east by SW 112<sup>th</sup> Ave, the west by NW 124<sup>th</sup> Ave, to the north by NW 28<sup>th</sup> Court, and the south by NW 21<sup>st</sup> Court. This portion of the acres was inspected in April 2022. All catch basins and endwalls located in this phase appeared to be in good working condition.

Phase 2 area was bound by NW 28<sup>th</sup> Court to the north, Old Hiatus Rd (112<sup>th</sup> Ave) to the east, the C-4 canal on the south between 118<sup>th</sup> Ave and 112<sup>th</sup> Ave, and the C-6 canal on the south between Flamingo Rd (124<sup>th</sup> Ave) and 118<sup>th</sup> Ave. This portion of the acres was inspected in May 2022. Some minor debris was cleared from catch basin grates and culverts to prevent obstruction. All PAID facilities within this region were reported to be in good working condition as well.

The area for Phase 3 was bound by Old Hiatus Rd (112<sup>th</sup> Ave) to the east, the C-4 canal to the north, Flamingo Road to the west, and the North New River canal to the south. This portion of the Acres was inspected in June 2022, and completed the District's swale evaluation. No major blockages, repairs, or significant maintenance was reported and the storm water system was functioning as intended.

### 3.3 Pump Stations

#### 1. Pump Station No. 3 Rehabilitation

Our main focus for 2022 was to get Pump Station No. 3 constructed and operational. Our office approved all required shop drawings and incorporated within the final plan set minor modifications made by the pump manufacturer. In January, the South Florida Water Management District (SFWMD) Right-of-Way (R/W) permit staff informed us that the District would be required to extend the permit annually via permit extension applications to the SFWMD. We submitted all necessary documents for review and were granted an extension to do work within the C-42 canal R/W. This permit is valid until August 31<sup>st</sup> of this year. We will apply for another permit about 90 days prior to expiration.

Continued communication with the Engineer and the Contractor were kept via email and phone conversations. The Contractor was requested to verify the construction start date which was initially March 14, 2022; however, we were later informed that the previous start date had to be delayed due to an international material shortage of large diameter ductile iron pipe. This was the case for several months.

Two pieces of pipe necessary to start construction would not go into production until the week of July 18<sup>th</sup>, 2022. With two weeks for production and paint and an estimated week of shipping, it was anticipated receiving these items in mid August. The pump itself would be ready by the second week of June along with other materials; however, the contractor would not be able to start construction without these two pieces. Our office continued to monitor this and stayed in communication weekly with the contractor as we had been.

Pump No. 3 was performance tested under controlled conditions on July 12<sup>th</sup>, 2022, and witnessed by David Fradley, PE, and Stephen Nieset, PAID Chairman, at the MWI Corporation in Deerfield Beach. Pump test procedures were necessary to show compliance with the Hydraulic Institute Standards and project standards. The pump passed all required standards.

The remaining Ductile Iron Pipe (DIP) spool pieces mentioned previously arrived and the contractor (Hinterland Group) was scheduled to mobilize and begin work the week of August 22, 2022. However, the contractor again experienced delays due to the work crew being ill and was not able to start until September 6, 2022. Our office held a Pre-Construction meeting on September 9<sup>th</sup>, 2022, to discuss construction

sequencing, protocol, and permit compliance, etc. Over the next couple of months, our office was on-site daily to perform inspections as required.

By the end of October, the pump rehabilitation was near completion. Overall, three (3) Change Orders were approved by the Board (one being mandatory). The first change order involved changing the Contract retainage amount from 10% to 5%. House Bill 101, effective October 1, 2020 set a maximum retainage amount to 5%. Because this project was bid after that date, the retainage to be held must have been at or below 5%. To bring the Contract in compliance with the law, a change order was necessary and approval was mandatory.

The second change order involved increasing the contract amount by \$20,149.36, bringing the total cost of the project from \$384,357.50 to \$404,506.86. The cost was related to the additional steel plating, as provided for in the Contract, although, more than anticipated. Due to the extent of deterioration in the wet well, the walls, for a height of 8 feet, and the floor were re-clad. This change was added to all five (5) remaining stations. The total additional cost of the plating and related work was \$46,506.86, of which \$26,257.50 was provided for by the contingency amount from the Contract.

The third change order extended construction time from the 245 days specified by the contractor in the proposal to 372 days. The contractor experienced delays for various reasons: material shortages, crew falling subject to COVID-19, the condition of the existing wet well and the time needed to re-clad it. In addition, Florida was placed under an Executive Order State of Emergency for two (2) hurricanes (Ian & Nicole). Historically, projects in PAID have taken longer than expected.

In summary, work got off to a slower start than anticipated as the Contractor became acclimated with the work and requirements of the Contract; however, progressed very quickly after that. A startup was conducted on November 15<sup>th</sup>, 2022; the pump station was operational and substantial completion was declared. By the end of December, the asbuilt was approved. Our office received the Final Affidavit and other documentation per the Contract and we issued the final payment.

## 2. Other Pump Station Improvements

Separate from the Pump Station Renovation Project, maintenance and repair work is required to the existing stations for normal operation. This work is done by the District's Staff with occasional assistance from private contractors. The work performed by staff on the pump stations is as follows:



1. All propane tanks were routinely filled by Suburban Propane as part of their contract for providing propane.
2. Breakers were replaced for Stations 1 and 4.
3. Fuel sensor for Pump 1 was not working. Removed fuel sensor from Pump 3 (prior to Pump 3 rehabilitation) and replaced sensor for Pump 1.
4. Stations 1 and 4 had no radio communication through mid-year 2022. Board authorized \$90k for VTS radio system upgrade at October 28<sup>th</sup>, 2021 PAID meeting. Radios arrived and were replaced and operational by June.
5. All pump station motors (except Pump Station No. 3) received normal maintenance.
6. Window louvers installed for Station No. 3 Pumphouse.

#### **3.4 20-Year Needs Analysis**

1. As part of the 2021 regular session, the State Legislature recognized the need for a long-term planning process for utilities, including stormwater management (SWM) systems. A state mandate was passed, Section 403.9302, Florida Statutes, which now required a 20-year needs analysis from local governments providing stormwater services starting in 2022, and required every five (5) years thereafter.
2. The engineering staff completed the analysis and submitted the report on behalf of PAID to Broward County by the State's deadline of July 31, 2022. The county was accountable for collecting all local analyses within its jurisdiction and compiling all information which then was submitted to the Secretary of the Florida Department Environmental Protection and to the Office of Economic and Demographic Research.
3. The 20-Year Needs Analysis included but was not limited to:
  1. Background/historical information including current activities associated with the management, operation and maintenance, and control of PAID's SWM system;
  2. The current service area for the SWM system and any expected changes to the system over the next two (2) decades;
  3. Any expansion projects and associated estimated future costs in 5 year increments over the next two (2) decades;

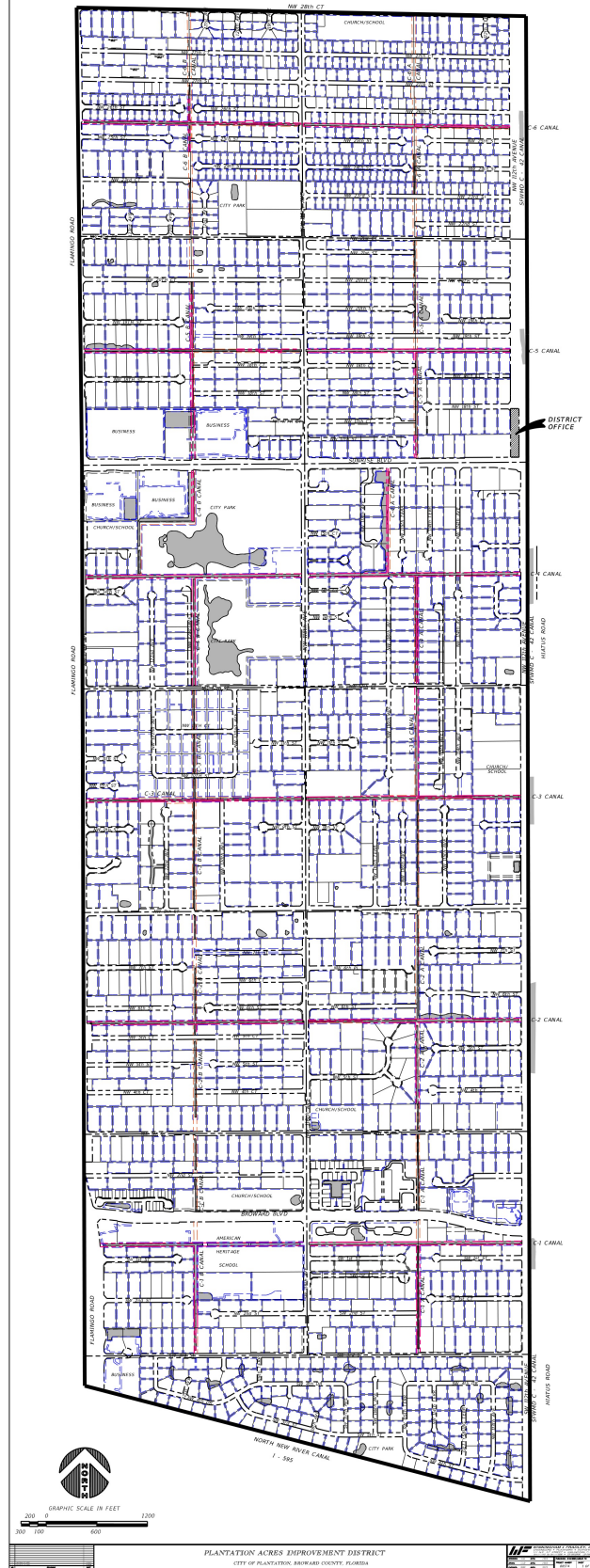
4. Resiliency initiatives related to climate change if applicable (sea level rise, increased flood events, etc.);
5. Remaining estimated useful life expenditures for stormwater infrastructure;  
and
6. Any “major” SWM components targeted for replacement within a 20 year horizon.

#### **4 DISTRICT MAPS**

The District Map was updated with the lots and easements as dedicated during 2022. The Facilities Map was updated to include facilities that were either constructed or were not depicted previously on the map as some unknown structures were discovered by District staff during their swale obstruction evaluation.

Reduced copies of the maps are included in this report. Full size copies are available.

# PLANTATION ACRES IMPROVEMENT DISTRICT



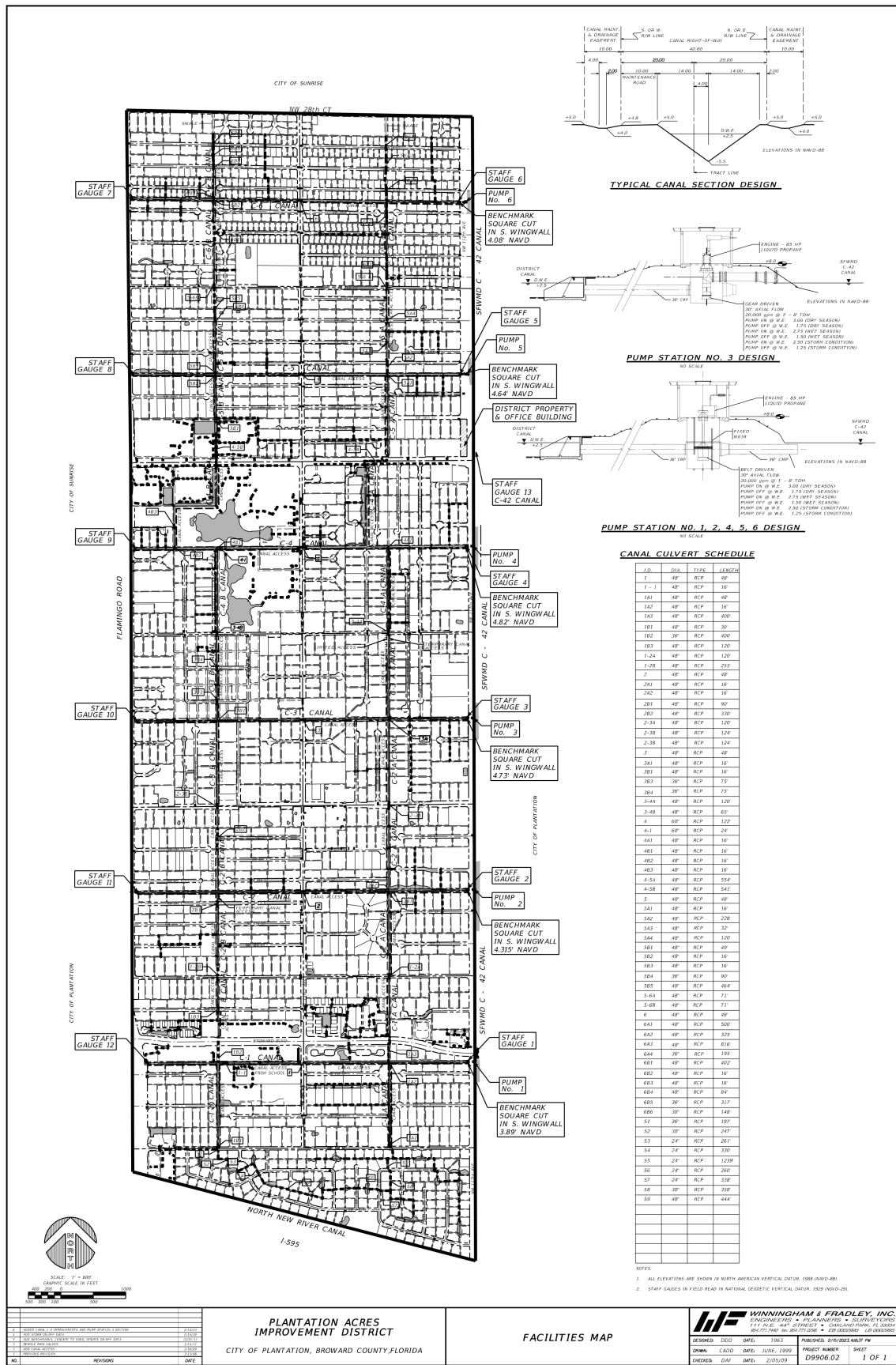


Figure 2 - Facilities Map

## 5 PUMP DATA

The pump activity is generally recorded by the VTS software. However, due to the disruption in service to the telemetry and the changeover to an updated system, this information is not available for 2022.

The fuel usage for each pump, their refill dates and general data are as follows:

FUEL REFILL AMOUNTS IN GALLONS						
Date	Pump 1	Pump 2	Pump 3	Pump 4	Pump 5	Pump 6
03/23/22	83.60	671.90	248.00		320.60	456.10
04/28/22	Filled	Filled	Filled	Filled	Filled	Filled
06/02/22		271.20			287.60	271.20
06/08/22	477.90	310.20	377.60	339.00	353.60	
06/09/22						381.00
07/27/22		442.00				
09/27/22	136.30	127.20		232.00	126.10	140.90
09/30/22	328.10	326.70		256.40	381.10	331.90
<b>Totals</b>	<b>464.40</b>	<b>2149.20</b>	<b>625.60</b>	<b>827.40</b>	<b>1469.00</b>	<b>1581.10</b>

**Table 3 - Fuel Refill Amounts in Gallons**

The total amount of fuel used in 2022 was 7,117 gallons, a 5.3% decrease over the fuel use in 2021. A comparison to previous years is shown to the right.

Year	Fuel (gals)	Rain (in)
2010	8,871	67
2011	5,071	50
2012	11,474	70
2013	5,367	72
2014	5,913	65
2015	4,646	56
2016	2,137	52
2017	11,252	75
2018	8,702	53
2019	13,615	62
2020	24,714	104
2021	7,516	66
<b>2022</b>	<b>7,117</b>	<b>64</b>

**Table 4 - Fuel Use 2010-2022**

## 6 RAINFALL DATA

Rainfall data is generally collected from three sources: the South Florida Water Management District (SFWMD), the Old Plantation Water Control District (OPWCD), and PAID.

The SFWMD data comes from the S-125 Rain Station, located at the north end of the C-42 Canal at the intersection with the C-13 Canal approximately one mile north of the District.

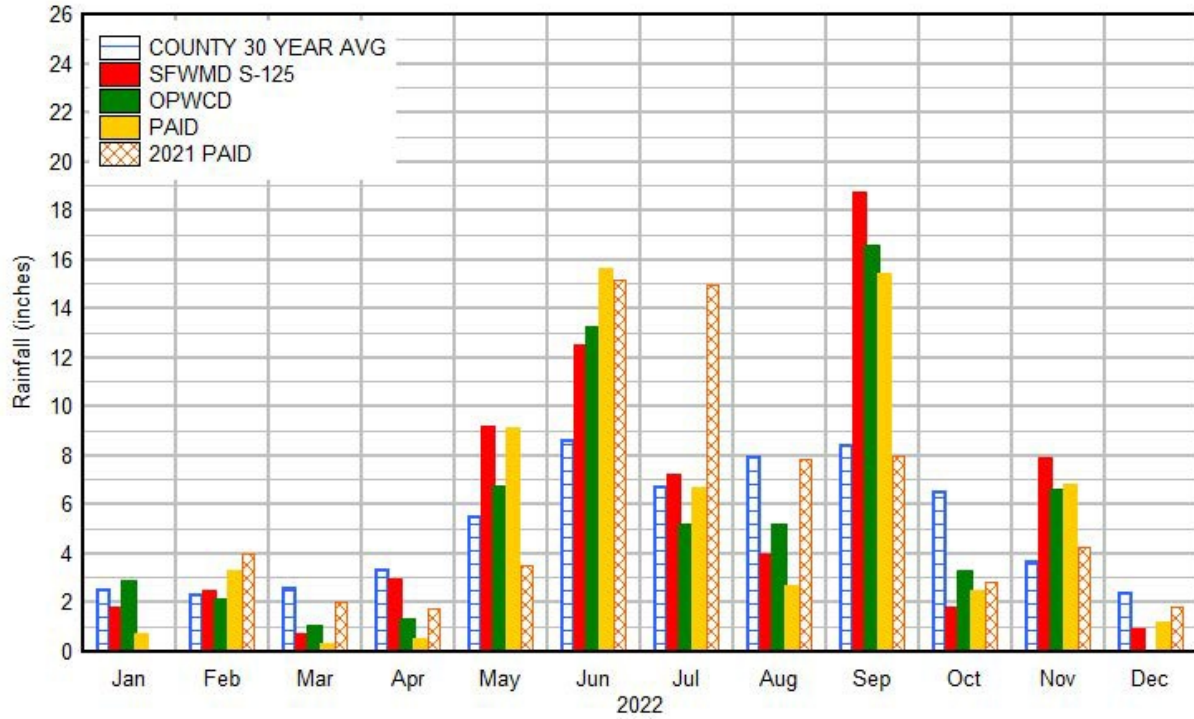
The data from OPWCD is taken from the analog record of rainfall at the OPWCD Headquarters at 8800 North New River Canal Road, Plantation, Florida.

In addition to the annual recorded local rainfall, the published Broward County Average rainfall is provided (<https://www.sfwmd.gov/weather-radar/rainfall-historical/normal>). The monthly totals for rainfall for the active stations and a bar graph of the average monthly rainfall amounts are shown on the following table and graph.

MONTH	2022 RAIN (inches)				PAID 2021
	County 30 Year Avg	OPWCD	S-125	PAID	
Jan	2.51	2.83	1.77	0.66	0.00
Feb	2.28	2.13	2.46	3.25	4.00
Mar	2.60	1.02	0.69	0.25	2.00
Apr	3.35	1.32	2.89	0.50	1.75
May	5.47	6.68	9.17	9.10	3.50
Jun	8.60	13.21	12.43	15.60	15.20
Jul	6.73	5.12	7.19	6.64	14.98
Aug	7.89	5.14	3.92	2.61	7.83
Sep	8.37	16.53	18.71	15.37	7.99
Oct	6.48	3.22	1.76	2.41	2.83
Nov	3.64	6.60	7.85	6.78	4.25
Dec	2.38	0.00	0.87	1.13	1.83
<b>Total</b>	<b>60.30</b>	<b>63.80</b>	<b>69.71</b>	<b>64.29</b>	<b>66.16</b>

**Table 5 - Local Monthly Rainfall**

**Rainfall by Month for 2022**  
**Plantation Acres Improvement District**



**Figure 3 - Rainfall Comparison Chart**

The total rainfall, 64 inches, is a 2.8% decrease from the previous year.

**7 WATER LEVELS**

Water levels are typically recorded continuously at each pump station. However, the District's VTS software for Stations 1 and 4 was not working for half of the year and Station 3 was rehabilitated. For Stations 2, 5, and 6 for 2022, these averages are not known.

## **8 STORMS**

### **8.1 Hurricane Ian**

One of the hurricanes to hit landfall on the southwest coast of Florida was on September 28, 2022, and made its way northeast, across the state. Hurricane Ian was categorized as a Category 4 with 150 mph winds and heavy rains that caused damage to several central counties. Approximately 8 inches of rain fell over the two days preceding the storm. By the time Ian approached Broward County, or the District, it weakened into a tropical storm. Preparations were made beforehand and there was not any significant damage to PAID's stormwater management system.

### **8.2 Hurricane Nicole**

Hurricane Nicole hit landfall on the east coast of south Florida on November 10, 2022, and was downgraded from a Category 1 hurricane to a tropical storm shortly thereafter. Nicole made its way north throughout the state along the west coast. Approximately 2.4 inches of rain fell over the two days preceding the storm. Like Ian, preparations were made beforehand and there was not any significant damage to PAID's stormwater management system.

### **8.3 Other Storms**

Tropical Storm Alex reached the southwestern coast of Florida on June 4<sup>th</sup> and moved its way northeastward across the state, exiting the east coast about six (6) hours later. Approximately 12.1 inches of rainfall occurred preceding the storm and during, from June 1-4.

Prepared by:  
**WINNINGHAM & FRADLEY, INC.**

Bealinda M. Pell  
Professional Engineer Number 81229  
State of Florida

February 23, 2023



**ENGINEER'S STAFF REPORT**  
FOR February 23, 2023 MEETING  
**AGENDA ITEM No.: D5**

**Action Required:** Discussion

**Item Description:** Permit Activity Summary

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**P.A.I.D. Number:** D9408.02 & D9408.03

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**Attachments:** None

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**Summary:** Approved Building Permits

<u>No.</u>	<u>Name</u>	<u>Address</u>	<u>PAID No.</u>
1.	Loriga (Outdoor kitchen & UG tank & lines)	11310 NW 28 <sup>th</sup> Court	B2101.01
2.	RCR Homes LLC (House)	1280 NW 124 <sup>th</sup> Avenue	B2212.02
3.	Veskosky (Addition)	12021 NW 18 <sup>th</sup> Street	B9808.05
4.	Amar (Fence)	11850 NW 18 <sup>th</sup> Street	B9201.04
5.	Duque Melo (Fence)	11241 NW 26 <sup>th</sup> Street	B9909.04
6.	Demarco (Addition)	11624 NW 5 <sup>th</sup> Street	B9306.07
7.	Platzer (Fence)	800 NW 116 <sup>th</sup> Terrace	B9411.03
8.	Chase (Fence)	11481 Tara Drive	B0204.09

**Summary:** No Approved Certificates of Occupancy

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Prepared by: HMS Date: 02/15/2023

**ENGINEER'S STAFF REPORT**  
FOR February 23, 2023 MEETING  
**AGENDA ITEM No.: D6**

**Action Required:** Discussion

**Item Description:** Notices of Violation  
Summary

**P.A.I.D. Number:** D9611.01

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**Attachments:** None

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**Summary:** The following is a summary of the existing violations.

<b>Name</b>	<b>Address</b>	<b>Violation</b>	<b>Status</b>
SOSA	11501 NW 24 <sup>TH</sup> STREET	LANDSCAPE IN CANAL MAINTENANCE EASEMENT	COMPLIED
VENTO	2161 NW 121 <sup>ST</sup> AVENUE	LANDSCAPE IN CANAL MAINTENANCE EASEMENT	COMPLIED
GENDLER	11400 NW 26 <sup>TH</sup> STREET	LANDSCAPE IN CANAL MAINTENANCE EASEMENT	FINAL NOTICE
OCAMPO	11350 NW 26 <sup>TH</sup> STREET	LANDSCAPE IN CANAL MAINTENANCE EASEMENT	FINAL NOTICE
BARTELMO	12061_NW 10 <sup>TH</sup> STREET	LANDSCAPE IN CANAL MAINTENANCE EASEMENT	COMPLIED
DESANTIS	12121 NW 11 <sup>TH</sup> STREET	LANDSCAPE IN CANAL EASEMENT	NOTIFIED
WALLACE	1001 NW 114 <sup>TH</sup> AVENUE	FILL WITHOUT PERMIT	NOTIFIED

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Prepared by: HMS Date: 2/15/2023

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